

IN THE STATE OF SOUTH CAROLINA  
In The Court of Appeals

---

**RECEIVED**

MAR 20 2017

APPEAL FROM DORCHESTER COUNTY  
Court of Common Pleas

**SC Court of Appeals**

Edgar W. Dickson, Circuit Court Judge  
Case No. 2015-CP-18-00991

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Appellate Case No. 2015-002199

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Faye P. Croft, Personally and as Trustee of the James A. Croft Trust; James A. Croft Trust; William A. Harbeson; Heyward G. Hutson; James Stephen Greene, Jr.; South Carolina Public Interest Foundation; Summerville Preservation Society; and Dorchester County Taxpayers Association, individually, and on behalf of all others similarly situated, Appellants,

v.

Town of Summerville and Town of Summerville Board of Architectural Review, Respondents.

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**RECORD ON APPEAL  
VOLUME III of III**

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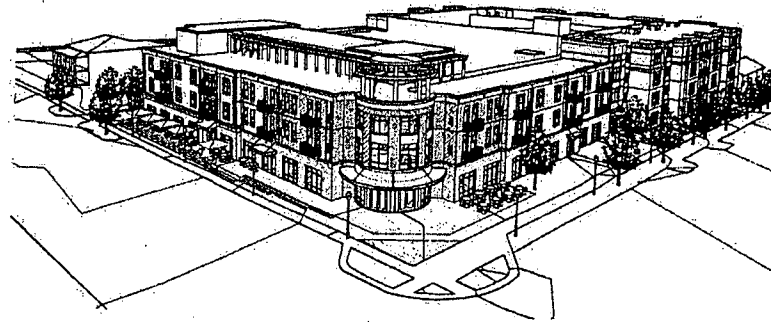
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CONCEPTUAL BAR SUBMITTAL  
 SEPTEMBER 26, 2014



THE DORCHESTER  
 SUMMERVILLE, S.C.

APPLEGATE & CO. / Arthur Applegate  
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 N. Charleston, SC 29405

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 Charleston, SC 29405  
 fax: 704.373.0260  
 tel: 704.373.0068  
 www.saberengineering.com

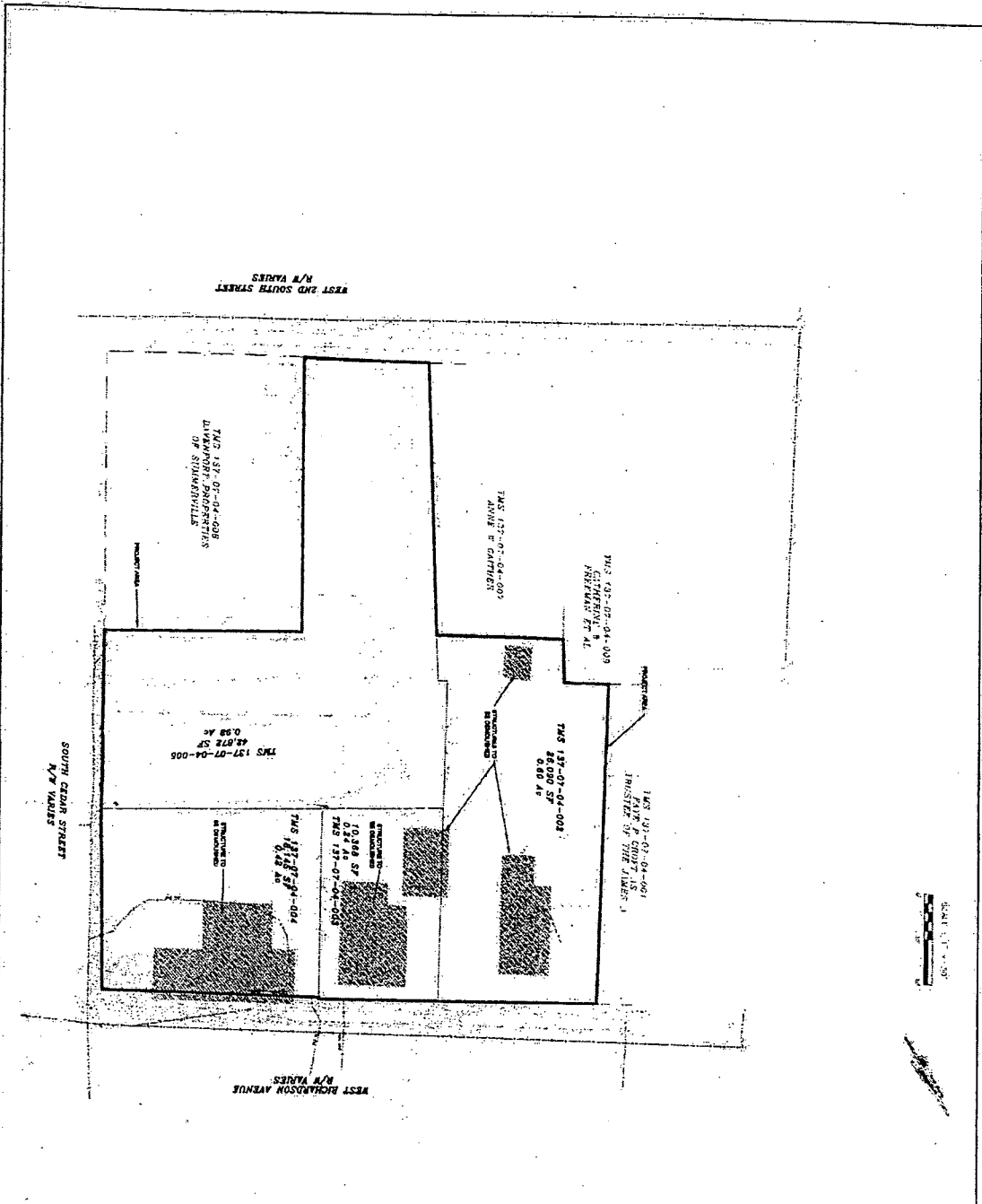
Goff•D'Antonio Associates  
 14 Radcliffe Street  
 Charleston, SC 29403  
 www.goffdantonio.com

THE DORCHESTER  
 SUMMERVILLE, S.C.

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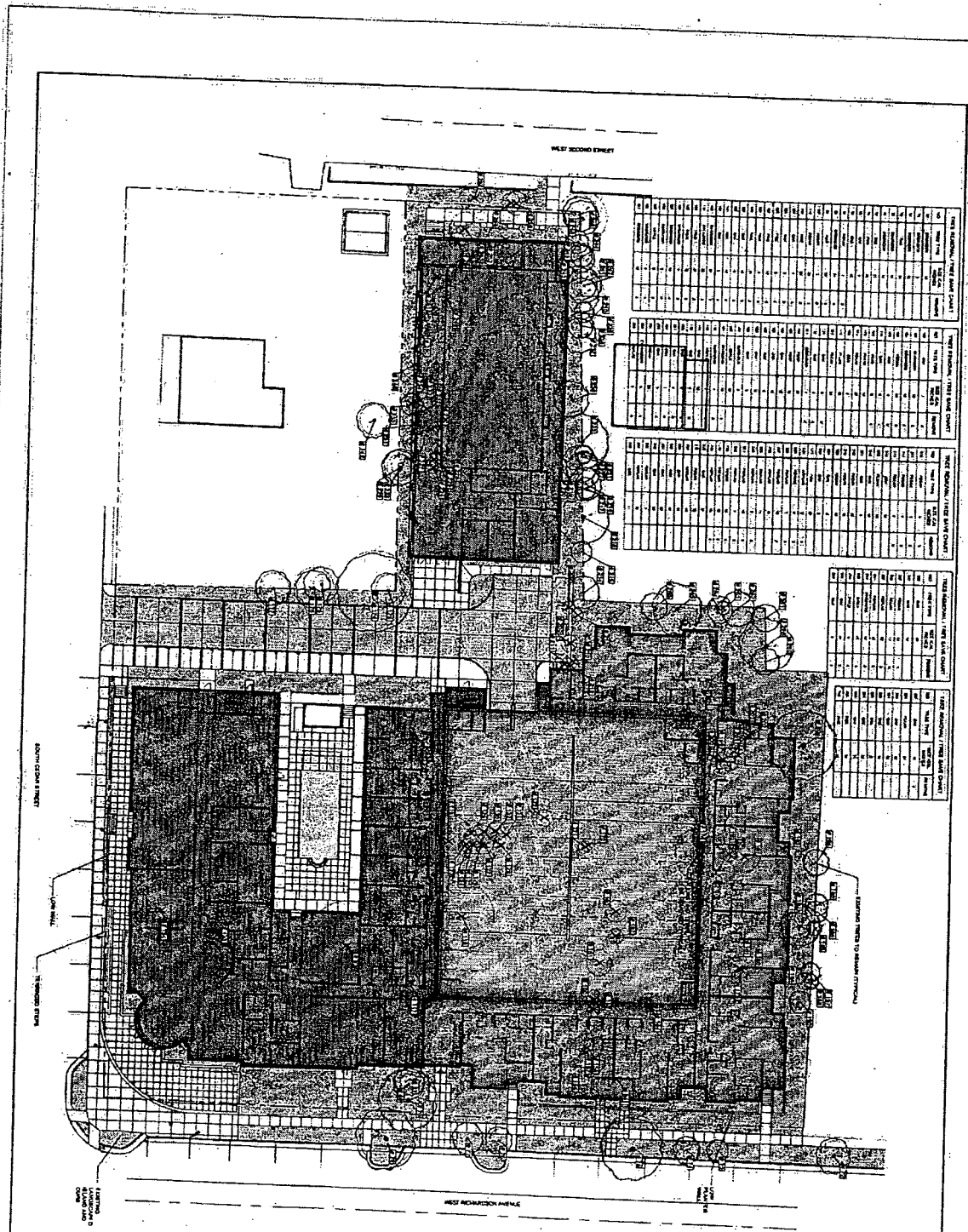
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PROPERTY OWNER: THE STATE OF SOUTH CAROLINA  
 PROJECT NO: 137-07-04-001-009  
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 CHECKED BY: J. HARRIS  
 APPROVED BY: J. HARRIS

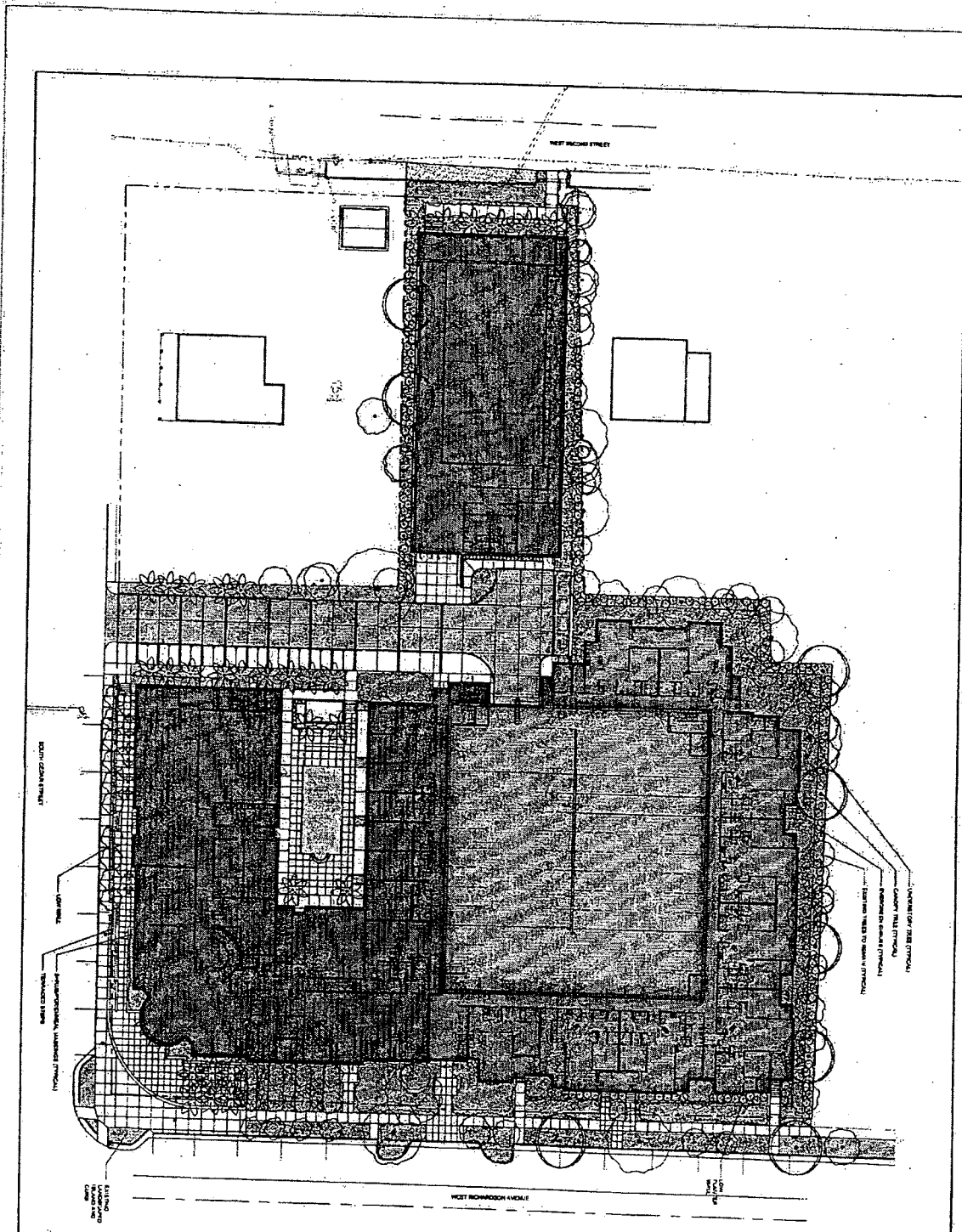
<p><b>THE DORCHESTER</b> SUMMERVILLE, S.C.</p>		<p><b>Stantec</b> 410 CENTRE POINTE DRIVE, SUITE 200 NORTH CHARLESTON, SC 29418 843.740.7700 www.stantec.com</p>																
<p>DATE: 10/15/2014          PROJECT: B.A.R. DEMOLITION          SUBMITTAL          DRAWN BY: JH          CHECKED BY: JH          APPROVED BY: JH</p>	<p>1 OF 1</p>	<table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	DATE													<p>REFERENCES:          1. ALL INFORMATION IS BASED ON THE RECORDS OF THE PROJECT AND THE INFORMATION PROVIDED BY THE CLIENT AND CONTRACTOR.          2. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.          3. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE INFORMATION PROVIDED AND THE DESIGN THEREOF.</p>
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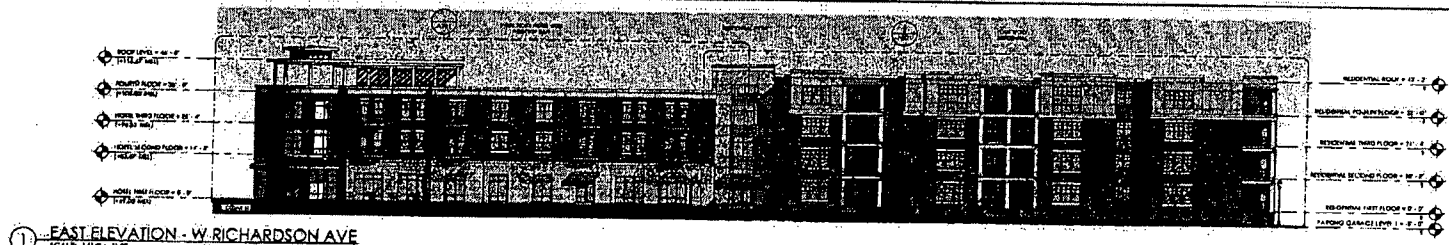
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2.	SEE ELECTRICAL DRAWINGS FOR LIGHTING AND ELECTRICAL SCHEDULE.
3.	SEE MECHANICAL DRAWINGS FOR HVAC SYSTEMS AND SCHEDULE.
4.	SEE CIVIL DRAWINGS FOR PAVING, CURBS, AND UTILITIES.
5.	SEE LANDSCAPE ARCHITECTURE DRAWINGS FOR PLANTING AND IRRIGATION.
6.	SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS AND CONCRETE.
7.	SEE FINISHES SCHEDULE FOR WALL, FLOOR, AND CEILING FINISHES.
8.	SEE LIGHTING SCHEDULE FOR LIGHT FIXTURES AND BALLASTS.
9.	SEE ELECTRICAL SCHEDULE FOR ELECTRICAL EQUIPMENT AND WIRING.
10.	SEE MECHANICAL SCHEDULE FOR HVAC EQUIPMENT AND CONTROLS.
11.	SEE CIVIL SCHEDULE FOR PAVING, CURBS, AND UTILITIES.
12.	SEE LANDSCAPE ARCHITECTURE SCHEDULE FOR PLANTING AND IRRIGATION.
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17.	SEE MECHANICAL SCHEDULE FOR HVAC EQUIPMENT AND CONTROLS.
18.	SEE CIVIL SCHEDULE FOR PAVING, CURBS, AND UTILITIES.
19.	SEE LANDSCAPE ARCHITECTURE SCHEDULE FOR PLANTING AND IRRIGATION.
20.	SEE STRUCTURAL SCHEDULE FOR FOUNDATIONS AND CONCRETE.

	<b>KEY PLAN</b> THE DORCHESTER SUMMERVILLE PLAN A	<b>GENERAL NOTES</b> 1. SEE ARCHITECTURAL DRAWINGS FOR FINISHES AND MATERIALS. 2. SEE ELECTRICAL DRAWINGS FOR LIGHTING AND ELECTRICAL SCHEDULE. 3. SEE MECHANICAL DRAWINGS FOR HVAC SYSTEMS AND SCHEDULE. 4. SEE CIVIL DRAWINGS FOR PAVING, CURBS, AND UTILITIES. 5. SEE LANDSCAPE ARCHITECTURE DRAWINGS FOR PLANTING AND IRRIGATION. 6. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS AND CONCRETE. 7. SEE FINISHES SCHEDULE FOR WALL, FLOOR, AND CEILING FINISHES. 8. SEE LIGHTING SCHEDULE FOR LIGHT FIXTURES AND BALLASTS. 9. SEE ELECTRICAL SCHEDULE FOR ELECTRICAL EQUIPMENT AND WIRING. 10. SEE MECHANICAL SCHEDULE FOR HVAC EQUIPMENT AND CONTROLS. 11. SEE CIVIL SCHEDULE FOR PAVING, CURBS, AND UTILITIES. 12. SEE LANDSCAPE ARCHITECTURE SCHEDULE FOR PLANTING AND IRRIGATION. 13. SEE STRUCTURAL SCHEDULE FOR FOUNDATIONS AND CONCRETE. 14. SEE FINISHES SCHEDULE FOR WALL, FLOOR, AND CEILING FINISHES. 15. SEE LIGHTING SCHEDULE FOR LIGHT FIXTURES AND BALLASTS. 16. SEE ELECTRICAL SCHEDULE FOR ELECTRICAL EQUIPMENT AND WIRING. 17. SEE MECHANICAL SCHEDULE FOR HVAC EQUIPMENT AND CONTROLS. 18. SEE CIVIL SCHEDULE FOR PAVING, CURBS, AND UTILITIES. 19. SEE LANDSCAPE ARCHITECTURE SCHEDULE FOR PLANTING AND IRRIGATION. 20. SEE STRUCTURAL SCHEDULE FOR FOUNDATIONS AND CONCRETE.	<b>LEGEND</b> [Symbol] THE DORCHESTER (SEE CHART) [Symbol] EXISTING FIELD TO REMAIN [Symbol] EXISTING TREE TO BE MAINTAINED
	DRAWN BY: [Name] CHECKED BY: [Name] PROJECT NUMBER: [Number] SHEET NUMBER: [Number] OF [Total] DATE: [Date]	<b>THE DORCHESTER</b> SUMMERVILLE	<b>Stantec</b> 4909 CENTRAL POINTE DRIVE, SUITE 200 NORTH CHARLESTON, SC 29418 843.740.7700 www.stantec.com





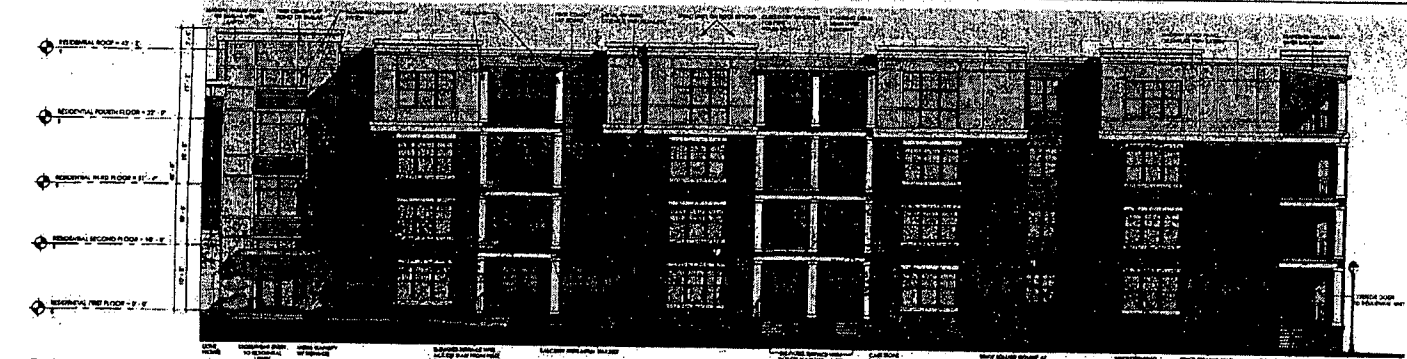
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① EAST ELEVATION - W RICHARDSON AVE  
SCALE: 1/16" = 1'-0"



② EAST ELEVATION - HOTEL  
SCALE: 1/8" = 1'-0"



③ EAST ELEVATION - RESIDENTIAL  
SCALE: 1/8" = 1'-0"

Goff-D'Antonio Associates

Professional Engineer  
Professional Architect  
Professional Planner

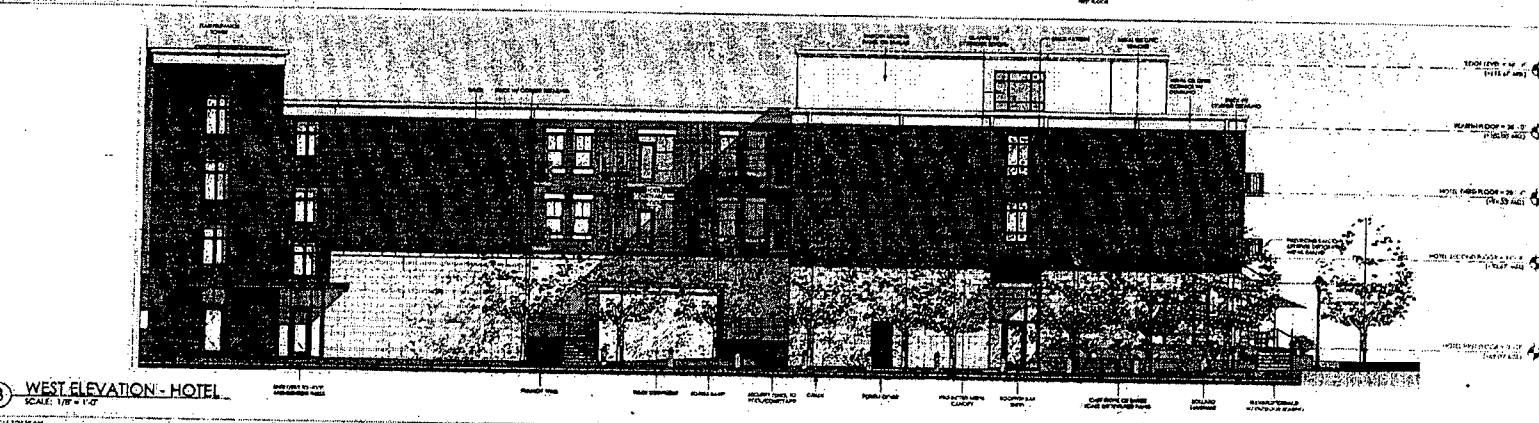
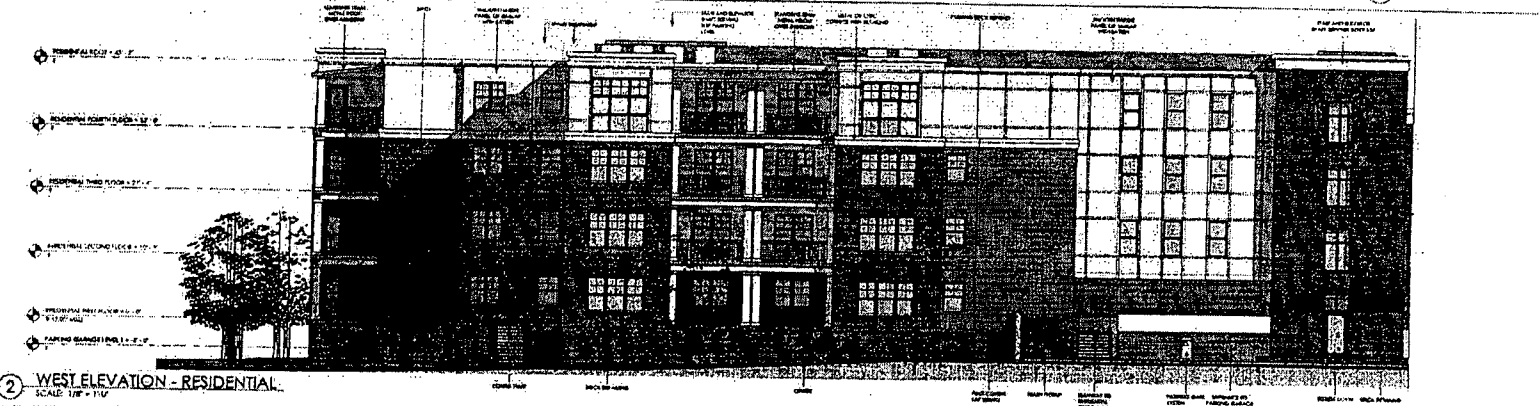
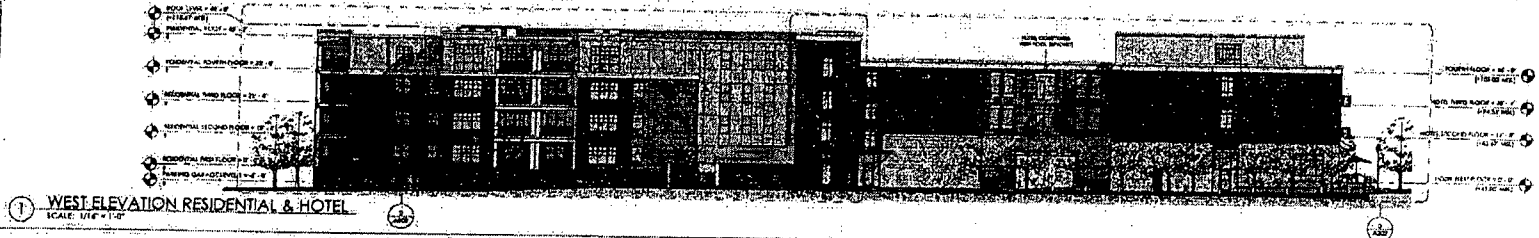
THE DORCHESTER  
SUMMERVILLE, S.C.

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NOT FOR  
CONSTRUCTION

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DRAWN BY:	PROJ. COORD.
EDJ	BAE
PROJECT NUMBER:	14208-08
SHEET DATE:	Revised: 01/10/11
DRAWING NO.:	

A201



Gulf-D'Antonio Associates  
 14 Avenida de la Playa  
 P.O. Box 481277-78  
 Miami Beach, Florida 33148-1277  
 Phone: 305.672.5555  
 Fax: 305.672.5555

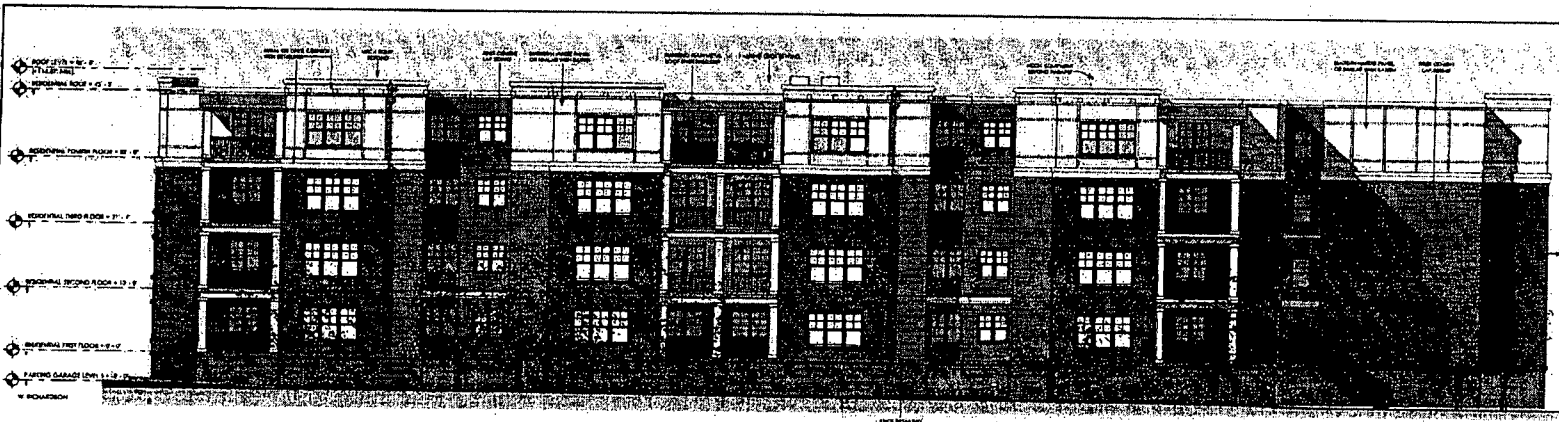
**THE DORCHESTER**  
 SUMMERVILLE, S.C.

REV.	DESCRIPTION	DATE

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 DRAWN BY: [blank]  
 CHECKED BY: [blank]

A202



① NORTH ELEVATION - RESIDENTIAL  
SCALE: 1/8" = 1'-0"



② SOUTH ELEVATION - HOTEL - S CEDAR ST.  
SCALE: 1/8" = 1'-0"

Goff/D'Antonio Associates  
Architects  
Planners

14 Middle Road  
Dorchester, SC 29535  
853.887.2797  
www.gda.com

**THE DORCHESTER**  
SUMMERVILLE, S.C.

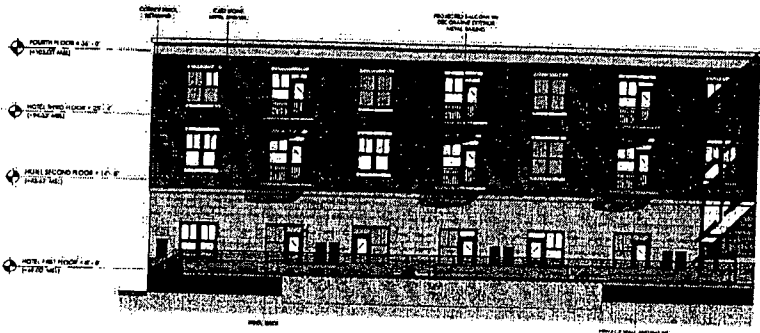
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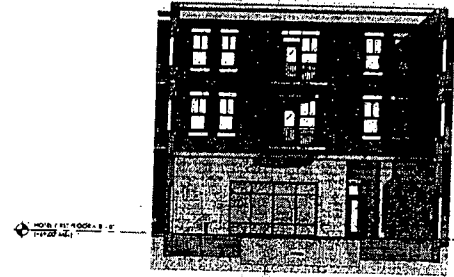
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BUILDING ELEVATIONS -  
HOTEL & RESIDENTIAL

DESIGNED BY: GDA  
PROJECT: THE DORCHESTER  
PROJECT NUMBER: 17005-00  
DATE PLOTTED: September 25, 2014  
BY: GDA

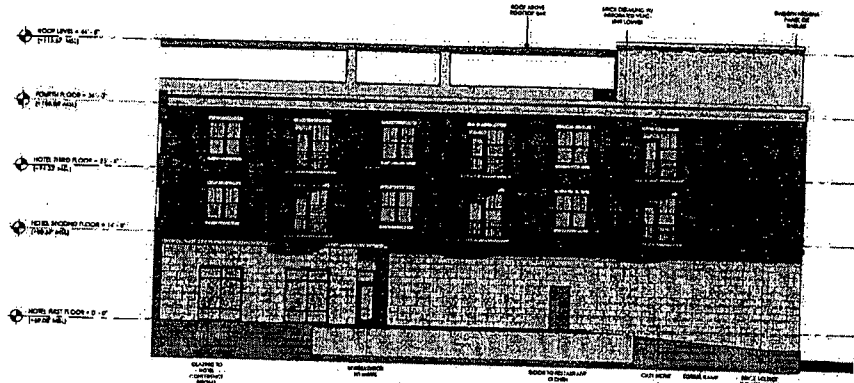
A203



① SOUTH ELEVATION - HOTEL COURTYARD  
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② WEST ELEVATION - HOTEL COURTYARD  
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③ NORTH ELEVATION - HOTEL COURTYARD  
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LEGEND

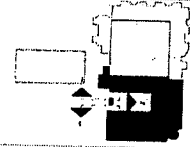
Griff-D'Antonio Associates  
ARCHITECTS  
Interior  
Planning

THE DORCHESTER  
SUMMERVILLE, S.C.

GENERAL NOTES

PRELIMINARY  
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CONSTRUCTION

KEY PLAN



PROJECT:  
BUILDING ELEVATIONS -  
HOTEL COURTYARD

DRAWN BY: PUG & LON  
CHECKED BY: CLM

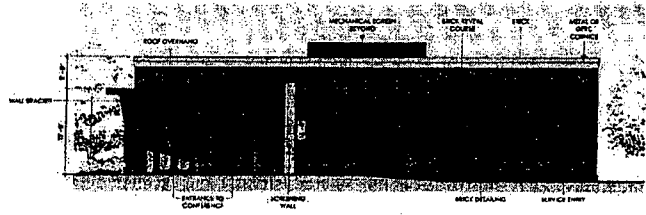
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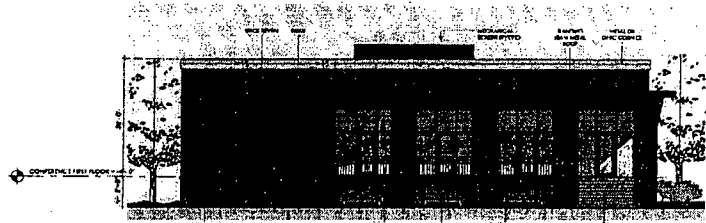
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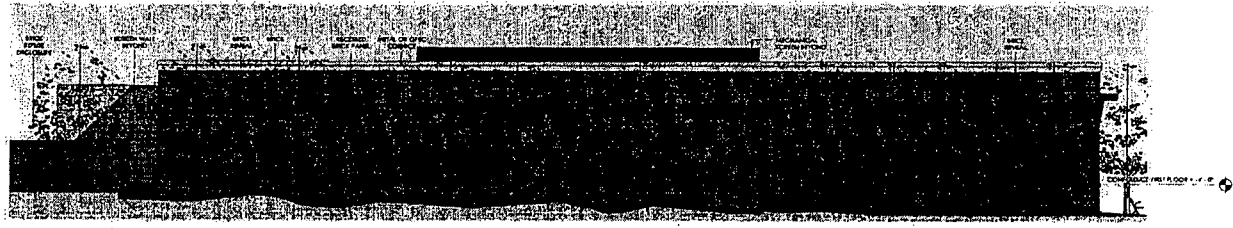
A204



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② WEST ELEVATION (W. 2ND ST.) - CONFERENCE  
SCALE: 1/8" = 1'-0"



③ NORTH ELEVATION - CONFERENCE  
SCALE: 1/8" = 1'-0"



④ SOUTH ELEVATION - CONFERENCE  
SCALE: 1/8" = 1'-0"

Geoff D'Antonio Associates

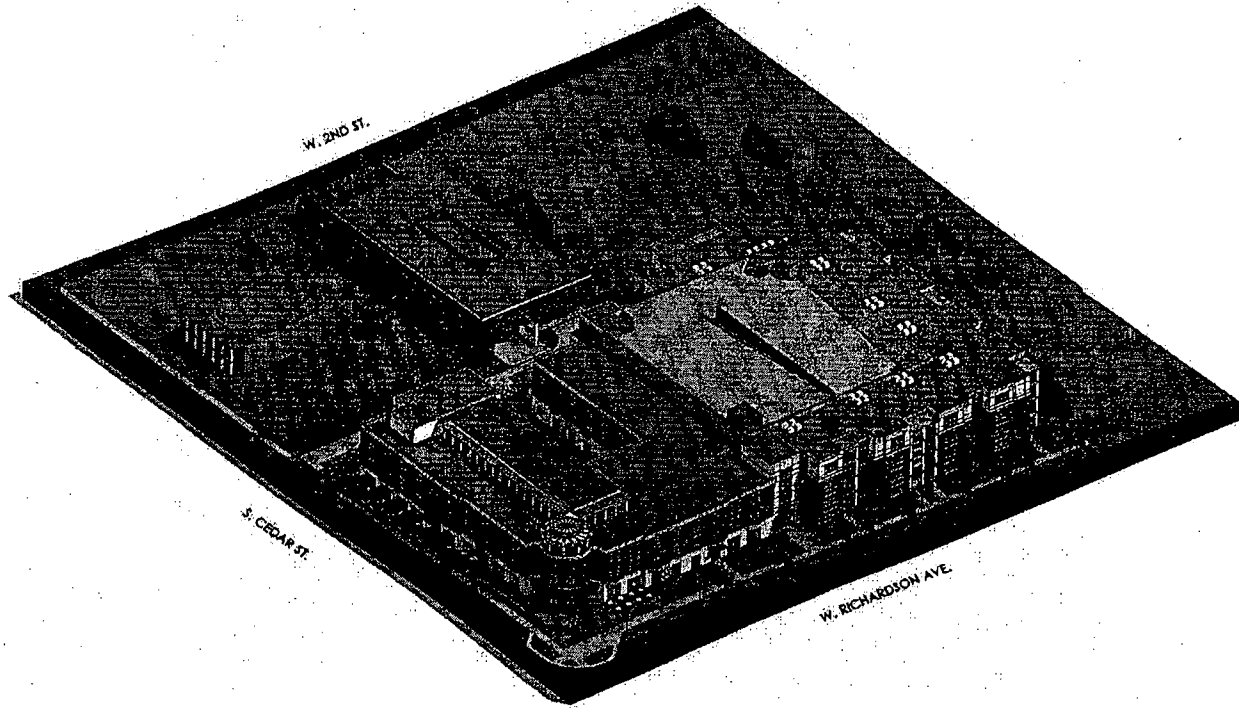
10000 E. Highway  
P.O. Box 177024  
Atlanta, GA 30317-0024  
404.277.1161  
www.gdassociates.com

THE DORCHESTER  
SUMMERSVILLE, S.C.

REV	DESCRIPTION	DATE

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

SHEET TITLE	
BUILDING ELEVATIONS, CONFERENCE CENTER	
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ISSUE DATE	SEPTEMBER 24, 2013
DRAWING NO.	A205



SOUTHEAST AERIAL PERSPECTIVE

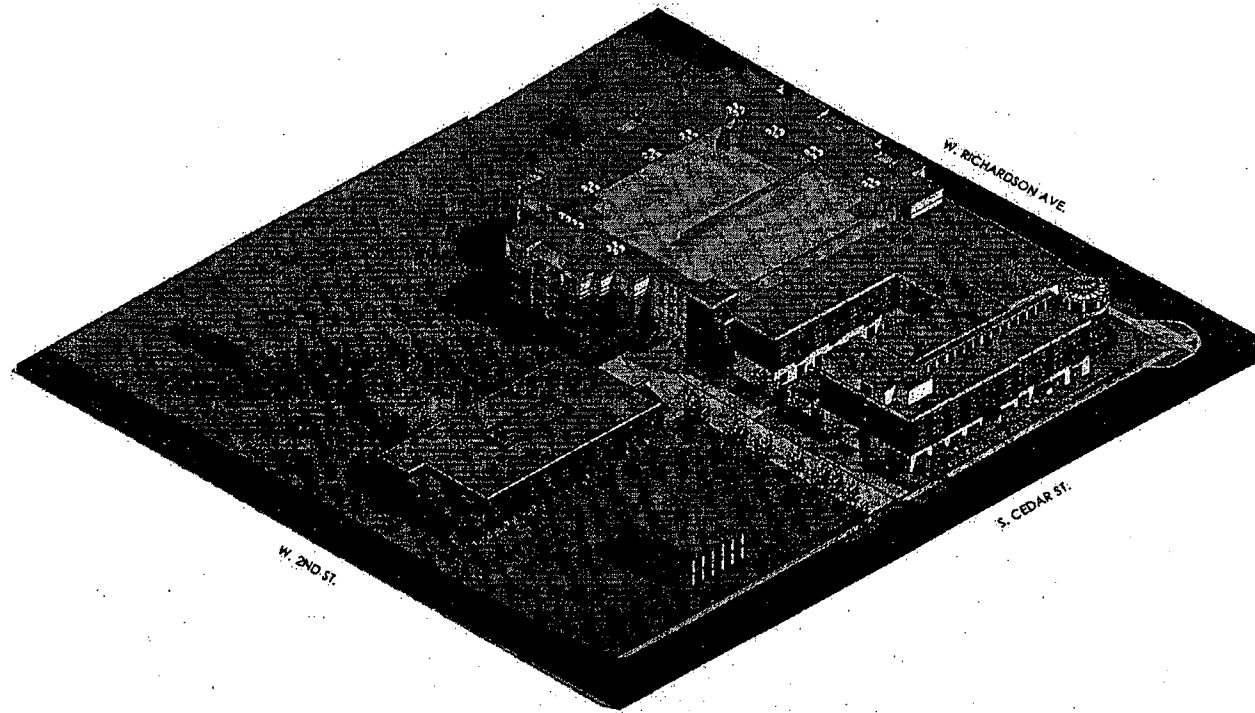
Goff-D'Antonio Associates  
 Architects  
 1400 Exchange Avenue  
 Suite 100  
 Charlotte, NC 28203  
 704.377.7400  
 www.goff-dantonio.com

**THE DORCHESTER**  
 SUMMERVILLE, S.C.

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PROJECT:  
**BUILDING  
 PERSPECTIVES**  
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 CHECKED BY: [blank]  
 DATE: [blank]  
 SCALE: [blank]

A206



SOUTHWEST AERIAL PERSPECTIVE

Goff D'Antonio Associates  
 Architects  
 Planners  
 Engineers

1110 South Blvd.  
 Charleston, SC 29403  
 843.733.1000  
 www.goffdantonio.com

**THE DORCHESTER**  
 SUMMERVILLE, S.C.

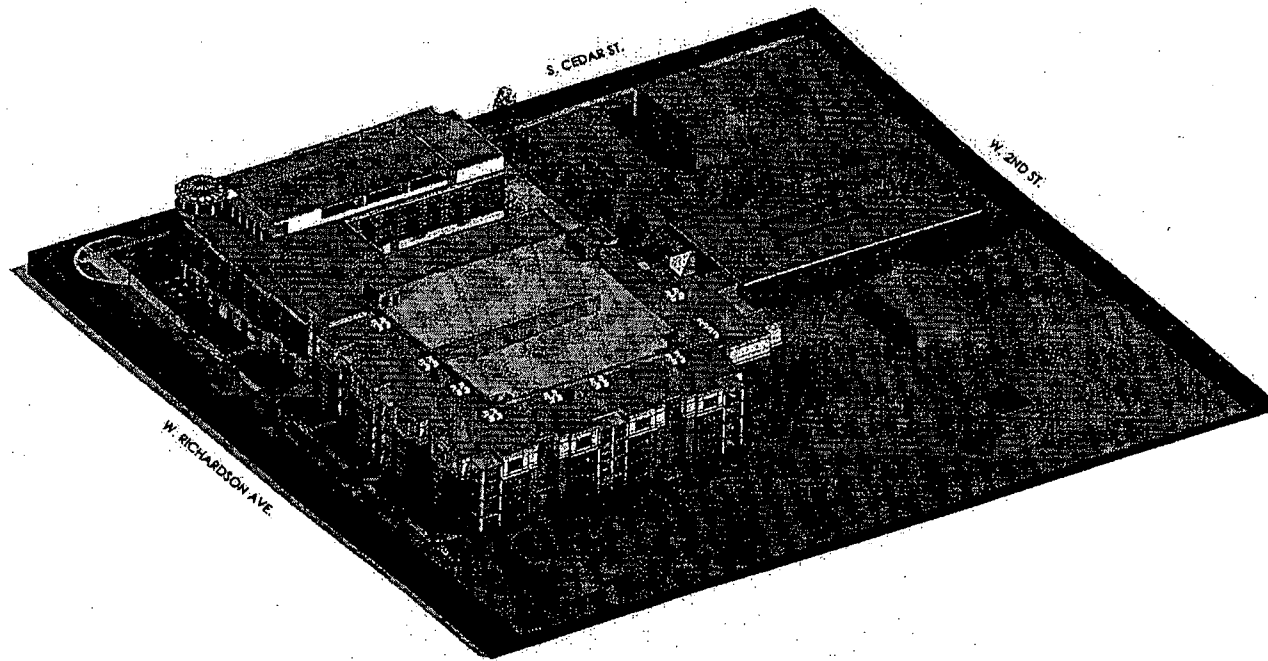
DESIGNED BY Goff D'Antonio Associates

**PRELIMINARY  
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 CHECKED BY: [Name]  
 DRAWN BY: [Name]  
 DATE: 01/11/11

**A207**



NORTHEAST AERIAL PERSPECTIVE

Goff-D'Antonio Associates  
 Architects  
 Planners

Attn: Building Dept.  
 FAX: 803.772.7297  
 443.772.7161  
 www.gda.com

**THE DORCHESTER**  
 SUMMERVILLE, S.C.

**PRELIMINARY  
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SHEET FILE  
 BUILDING  
 PERSPECTIVES

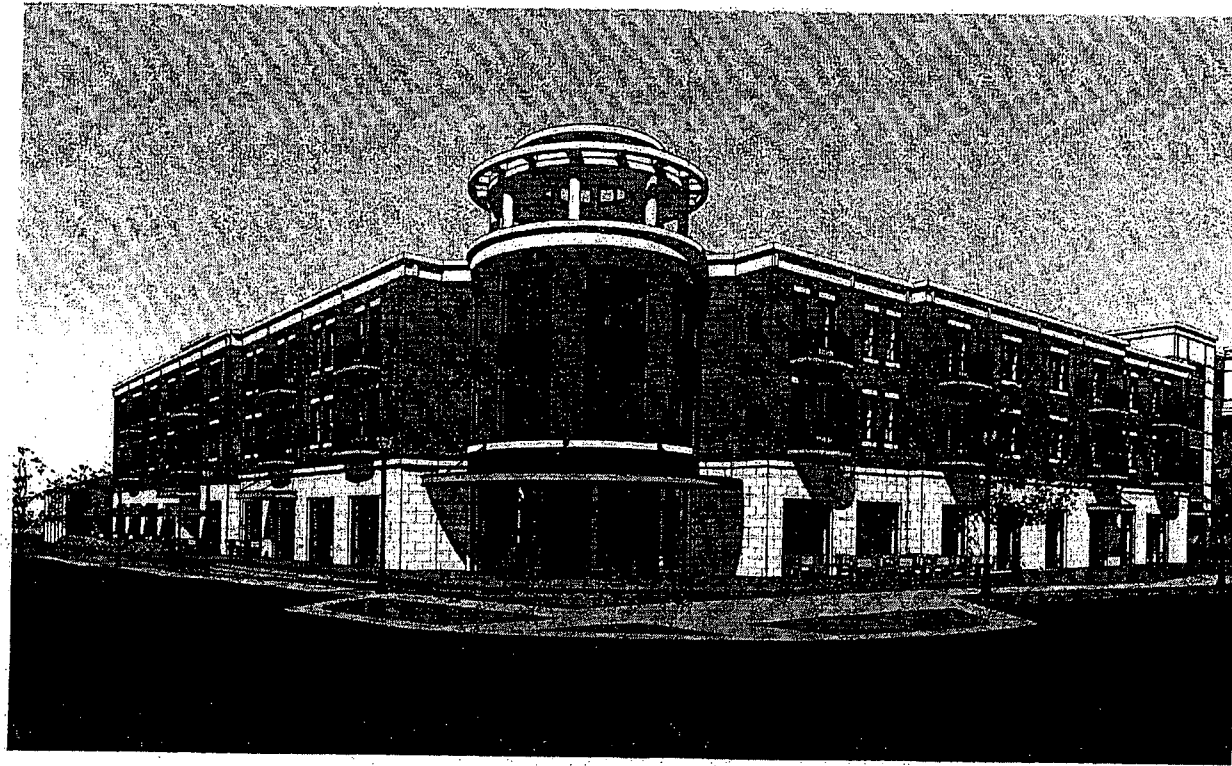
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 JUNE 08/11

PROJECT PLANNER: 1000 02

SCALE: 1/8" = 1'-0" DATE: MAY 11, 2011

DRAWING NO.

**A208**



HOTEL ENTRY- S. CEDAR ST. & W. RICHARDSON AVE.

Goff-D'Antonio Associates  
Architects  
Planners  
Interior Designers  
A. Goff-D'Antonio, Inc.  
Charlotte, NC 28202  
704.772.7400  
www.goffdantonio.com

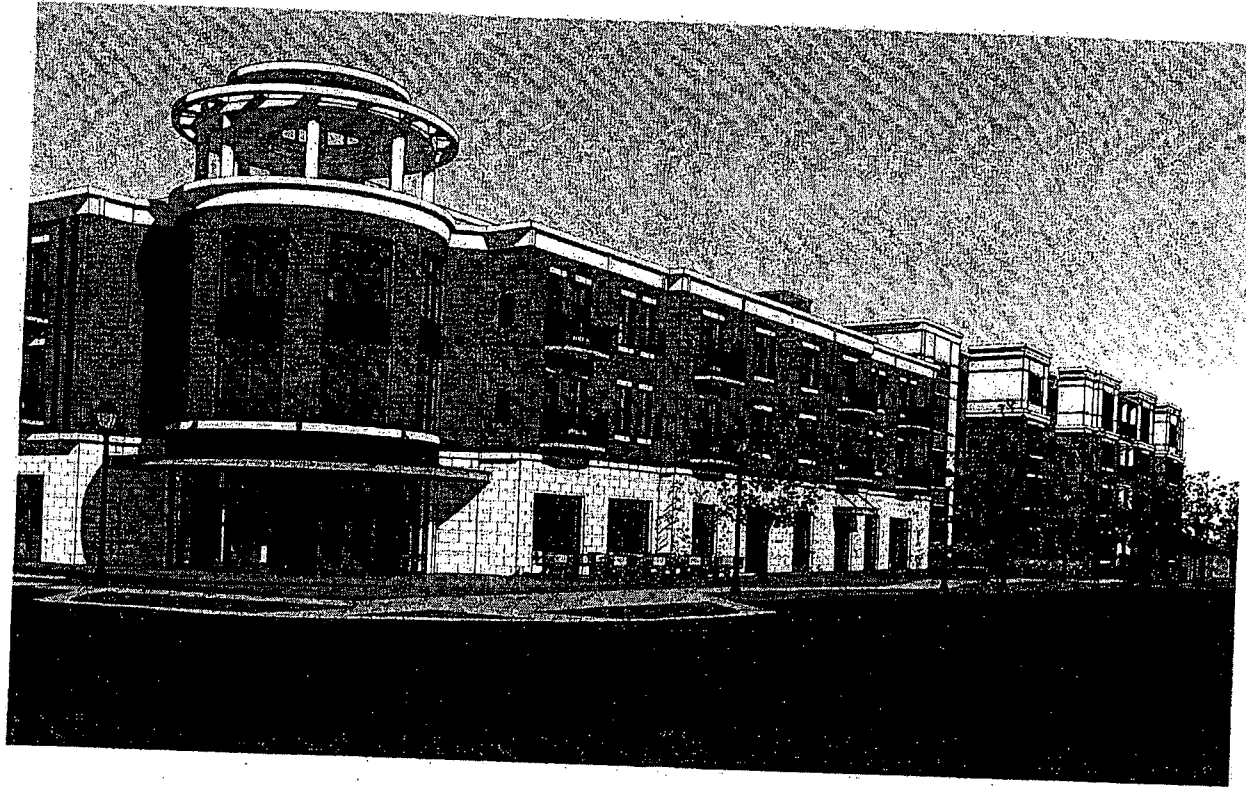
THE DORCHESTER  
SUMMERSVILLE, S.C.

REV. 02/20/09 01/09

PRELIMINARY  
NOT FOR  
CONSTRUCTION

02/20/09  
BUILDING  
PERSPECTIVES  
DRAWN BY: FHC/COO  
ALP/COO  
PROJECT NUMBER: 1000000  
DATE: 02/20/09  
DRAWING NO.

A209



HOTEL & RESIDENTIAL - W. RICHARDSON AVE.

1/24/2014 12:29:44 AM

Goff-D'Antonio Associates

An Associate  
of the  
Goff-D'Antonio Group

1400 Executive Drive  
Suite 200  
Columbia, SC 29204  
803.732.7183  
www.goff-dantonio.com

THE DORCHESTER

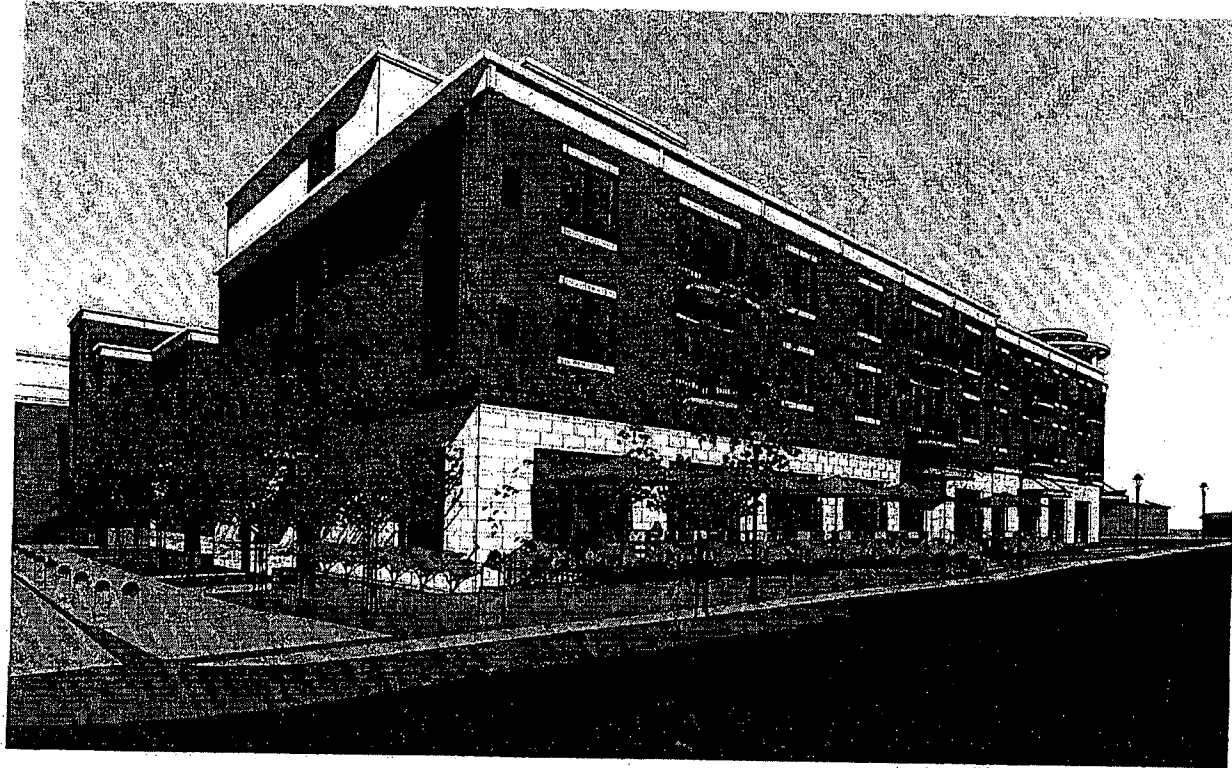
SUMMERVILLE, S.C.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE PLOTTED  
BUILDING  
PERSPECTIVES

DRAWN BY: PROJ. COOR.  
AJS/SL  
CHECKED BY: INSP/SL  
DATE PLOTTED: September 16, 2014  
DRAWING NO.

A210



HOTEL & RESTAURANT - S. CEDAR ST.

10/20/11 4:23 PM

Geoff D'Antonio Associates

ARCHITECTS  
Interior  
Planning

M. Richard Dyer  
Chairman, P.E. (RA)  
441.551.7979  
www.gdaa.com

**THE DORCHESTER**  
SUMMERSVILLE, S.C.

NO.	DESCRIPTION	DATE

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

1/20/12  
BUILDING  
PERSPECTIVES

DESIGNED BY: FRED COOK  
DRAWN BY: FRED COOK

PROJECT NUMBER: 100210

DATE DATE: September 24, 2011

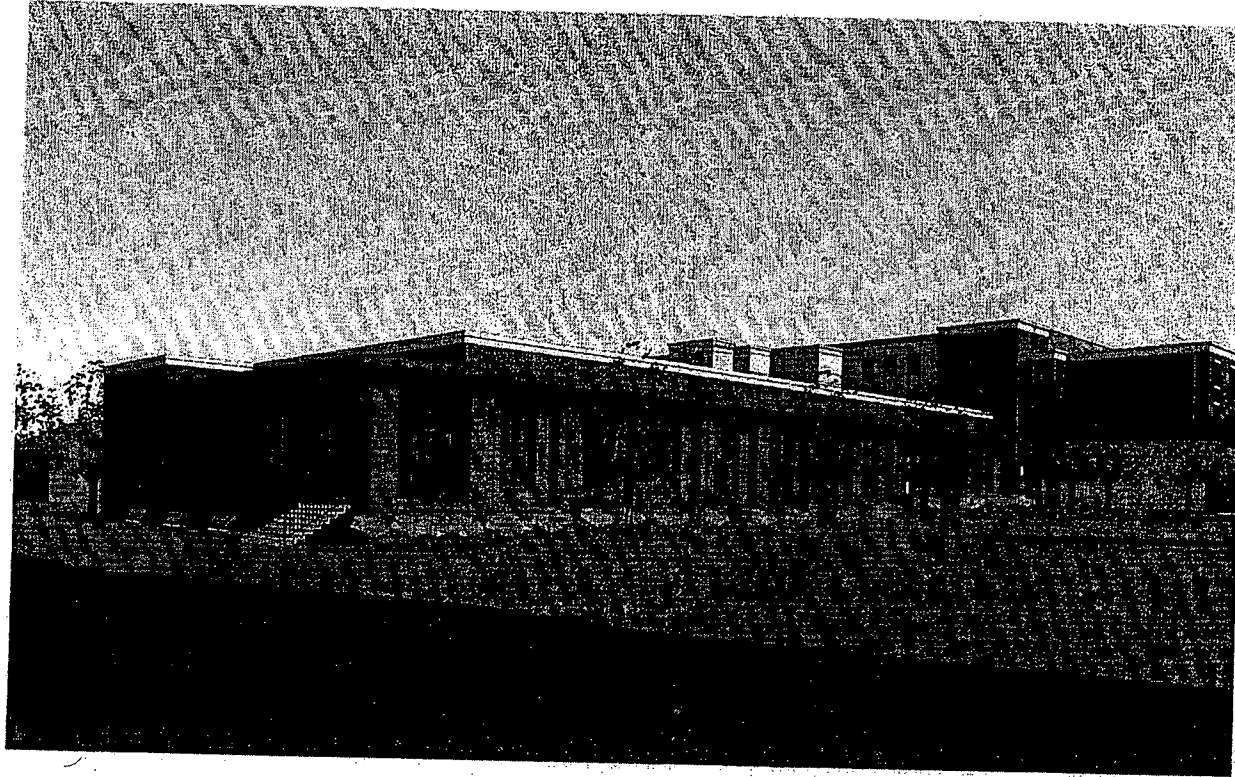
DRAWING NO.

**A211**

886

W.D. 10/10/10

October



CONFERENCE CENTER - W. 2ND ST.

Goettl + D'Antonio Associates  
 ARCHITECTS  
 14000  
 14000  
 14000

THE DORCHESTER  
 SUMMERVILLE, S.C.

REV DESCRIPTION DATE

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

SHEET NO.  
 BUILDING  
 PERSPECTIVES  
 DRAWN BY: P.F. COOK  
 CHECKED BY: [unclear]  
 PROJECT NUMBER: 100010  
 DATE: 10/10/10

A212

**Ladies and Gentlemen,**

**We welcome you to our Board of Architectural Review Board Meeting. It is now 6:00 PM – the time scheduled for our meeting to begin.**

**As always we will review each submittal in the order that it was submitted; however, as a first order of business we must approve the minutes of our last meeting which were sent to Board Members for review prior to this meeting**

**For those of you who may be new to our meeting our charge is to look at each project, “purely on aesthetics, design, architecture, height, mass, and scale, and in harmony within the historic district in the town of Summerville.” We look at the overall “street scene”.**

**Depending on the size or complexity of a project, each applicant has the opportunity to present a conceptual or master plan for our review prior to committing funds for a full set of design plans and specifications. This means that we might agree with the concept while disagreeing with some of the details. It also means that each phase of the project must be submitted at a later date once plans are more fully developed to obtain the Board’s approval for that individual portion of the project and hopefully any disagreements will have been worked out before the applicant comes back to the Board.**

**Demolition is also considered as a separate action by the Board and while conceptual approval may be contingent on some demolition it doesn’t mean that demolition concerns are overlooked.**

**Although we are not required to solicit comments from anyone other than the applicant and the board members, we usually choose to allow others to express comments that might help influence our decision making. To allow everyone who wishes to be heard a reasonable**

**opportunity we must insist that each of you comply with the following guidance.**

- 1. We ask that you limit your comments to not more than 3 minutes to speak on topic.**
- 2. Before you begin please sign in so we will have a record of who spoke**
- 3. Address your comments to the Board and do not engage in any side conversations with our other Guests.**
- 4. Please limit your comments to new concerns not previously brought to our attention. Rehashing the same points over and over will not enhance a position.**
- 5. If you are not the person called on to speak, please remain silent so that the Board and the Applicant can hear what the speaker has to say.**

**The first project on our list is....**

**Dreyer, Lucy**

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**From:** Joshua Good <jgood@goffdantonio.com>  
**Sent:** Thursday, May 14, 2015 1:27 PM  
**To:** Dreyer, Lucy  
**Subject:** RE: The Dorchester

Lucy,  
I can understand the delay in getting the meeting minutes out- there was definitely a lot said!

As I tried to state pretty clearly in the presentation, the materials and brands we proposed were for design intent only, with the caveat the final product selected would be the same or equal. This is crucial for the contractor to be able to competitively price the building and it's components. The only product manufacturer that we were bound to use is the Hardi Artisan siding, per the boards comments. We also stated that final material selections could be approved on the on-site sample wall panel that will be built during construction. The product descriptions/colors presented are as follows:

Hotel/Event Center

Brick 1 - Boral New Orleans  
Brick 2 - Boral Vintage Khaki  
Mortar - Argos Putty or similar  
Cast Stone - Bone White or similar; smooth finish  
Cornice Color 1 - Extruded aluminum/FRP/GFRC; Forest Green or similar  
Cornice Color 2 - Extruded aluminum/FRP/GFRC; Regal White or similar  
Window - Aluminum Clad with simulated divided lites and exterior grilles; Dark bronze or similar  
Storefront - Aluminum; Dark Bronze or similar  
Wood Doors - Stained wood; type/color to be determined; color noted to be darker than what was presented  
Wood Trim - Stained wood; type/color to be determined; color noted to be darker than what was presented  
Fiber Cement Panel/Trim 1 - Smooth Finish; Color- Hardi Light Mist/SW 2850 Chelsea Gray or similar  
Fiber Cement Panel/Trim 2 - Smooth Finish; Color- Hardi Iron Gray/SW 2849 Westchester Gray or similar  
Balcony Rail - Statuary Bronze or similar  
Standing Seam Metal Roof - Dove Gray or similar  
Canopy/Steel Channel - Slate Grey or similar

Residential

Brick 1 - Boral New Orleans  
Brick 2 - Boral Vintage Khaki  
Mortar - Argos Putty or similar  
Fiber Cement Siding - Hardi Artisan Lap siding; 5/8" Thickness; 6" or 7" exposure; Smooth finish; Light Mist/SW 2850 Chelsea Gray or similar  
Fiber Cement Trim - 1 1/2" Thick; smooth finish; Arctic White/SW 7656 Rhinestone or similar  
Fiber Cement Panel (at W. Richardson Entry) - Smooth finish; Iron Gray/SW 2849 Westchester Gray or similar  
Balcony Rail - Composite material w/ residential style profile at rails; White  
Window - Aluminum Clad with simulated divided lites and exterior grilles; White or similar  
Standing Seam Metal Roof - Dove Gray or similar  
Aluminum Gutter/Downspouts - White/paint to match trim color; half round gutter; full round downspout

I think that about covers it. Please let me know if you need any other information on materials. Thanks.

Josh Good

BAR May 11, 2015

JH  
DP  
JK  
CC  
RB  
PJ

JB → absent/absent

Resident Architect → Josh Good  
eliminated siding, placed brick full system  
elevation facing neighborhood & conference center better reflect  
rhythm & pattern of elevation on W Richardson  
downspouts & gutters 1/2 round gutter full round → downspouts  
white hot, garage, center → interior

railing - residential heavy wood look - but use aluminum  
hot-iron welded dark bronze not quite black

2  
MOLC active  
2014  
upper  
2 downspouts  
look  
2  
of  
1/2

Columns - typical wood sheathing fiber cement board 14 x 14  
Board → wood-grain up as opposed to cement board  
downspout - 8" brick wall surround with gable (shadow - can't see through)

1/2  
tending  
1/2  
1/2

paint downspout color of background they are against  
artisan siding 1/8" vertical preferred  
full length of siding above & below windows - detail in wvt. plans  
window will have fiber cement trim & window face will set back, not be flush - sill & trim detailed; white flashing  
sill slope back under  
all siding & trim smooth

Hotel

brick sampler - less tumbled texture; lighter mortar - ages over time reflect Emmerville architecture

992

water table <sup>solder</sup> course  
out about 1/2"

same window product just dark brown almost dark bronze  
paneling below windows → wood-stained - <sup>number of pieces</sup> <sup>could be done later</sup>  
storefront windows & door frames → alien with wood doors

### Conference Center

all doors same as hotel  
porch element - salt finished concrete & aligned with brick  
ceiling beadboard painted or coated/stained wood like doors  
railing - substantial - use same as residential but dark brown  
or custom wrought iron perhaps by local craftsman  
add door with glass to porch area  
soft cream or darker gray - dependent on ceiling color

RTP  
local  
material  
to consider

### Comments

Adrian Knit - not in favor of hotel; April meeting suggested  
canopy; scaled model  
- William Herbison - soundproof of restaurant on top; drainage;  
truck traffic - BTR members should resign  
- lady - he should have his say - refused to sign in  
- Hayward Hutson - could not hear discussion  
couldn't see; telman made important point - BTR  
refused to demand scaled model - will get nonchance  
& will realize until after it's built; black enclosure  
on short central - insist on scaled model  
appreciate your work - good idea Dr. Price  
- Joyce Delf - problem with Chairman - give people more  
open forum; something about sound problem

Dr. Price  
should  
our view  
to us  
something

JK favor of hotel & convention center but not of condos  
too massive, too connected to hotel (lack of separation)  
feel will be traffic problem; historic houses - developer  
should be relocated in district at dev expense; save  
significant trees; scaled model - haven't seen in context  
with neighborhood - Btc ignored ambiguity of neighborhood  
- Move to approve hotel & center & ask for redesign  
to 2nd motion fails

DP motion final app based on usual final approval  
has answered questions <sup>staff</sup> asked demolition; DP said  
you already approved demolition

RB 2nd

Att had initial quest answered w/ump landscaping  
wonderful asset plan

JK - no for entire thing; hotel & con center yes

CC - yes

RB - yes

PD - yes

Approved

(g) *Building design and site plan review.* Building design and site plan review for the PL district are as follows:

- (1) Maximum building height: As approved by town council.
- (2) Maximum impervious surface area: As approved by town council.
- (3) See article VIII of this chapter for site plan review requirements.

(Ord. No. 2001-0601, § 20-39, 6-1-2001)

**Sec. 32-136. Central business district; purpose.**

The purpose of this central business district is to recognize and follow special conditions created by the development of the downtown area of the town. In this central business district, the area and yard requirements and the parking requirements may be waived and the impervious surface area may be set at 100 percent. The requirements for building heights, signs, building design and site plan review for each zoning district and all building codes will remain in effect to maintain the safe, orderly development of this area.

(Ord. No. 2001-0601, § 20-40, 6-1-2001)

**Sec. 32-137. Nonconforming uses and structures.**

(a) *Continuation of nonconforming use of land.* The lawful use of land existing at the time of adoption of this chapter, or of an amendment thereto, although such use does not conform to the provisions thereof, may be continued; but if such nonconforming use is discontinued, as evidenced by lack of use for a period of at least one year (12 consecutive months) or for 18 accumulative months during any three-year period, or by substitution of a conforming use, any future use of such land shall be in conformity with the provisions of this chapter.

(b) *Continuation of nonconforming use of structure.* The lawful use of a structure, existing at the time of the adoption of this chapter, or of an amendment thereto, although such use does not conform to the provisions hereof, may be continued and such use may be extended throughout the structure; provided, however, that no structural alterations are made, other than those necessary to assure the safety of the structure; and provided, further, that such extension does not displace a conforming use in a district established by this chapter.

(c) *Changing of a nonconforming use.* Whenever a nonconforming use of a structure has been changed to a conforming use, such use shall not thereafter be changed back to a nonconforming use. Existing nonconforming uses which become conforming through a change in land classification submitted by the applicant shall be required to meet all off-street parking, boarding and screening as applicable to that district.

(d) *Restoration and rebuilding.* No building or structure or mobile home utilized for residential use that is damaged by fire or other causes to the extent of 50 percent of its appraised value shall be repaired or rebuilt except in conformity with all the regulations of this chapter. Exception: In the R-1 zoning district, the principal building or structure may be repaired or rebuilt to the same size, scale and decor as it originally existed.

(e) *Nonconforming approved lots of record.* Any lot of record at the time of passage or amendment of this chapter which does not comply with this chapter shall be considered a nonconforming lot.

(Ord. No. 2001-0601, § 20-41, 6-1-2001)

**State law references:** Nonconformities, S.C. Code 1976, § 6-29-730.

**Sec. 32-131. - B-3 general business.**

- (a) *Purpose.* The purpose of this B-3 district is to provide for general business and commercial areas designed to encourage the continuance and formation of a compatible and economically healthy environment.
- (b) *Permitted uses.* A building or premises in the B-3 district may be used for the following purposes:
- (1) All types of business and commercial activity related to retail sales, business and professional offices, financial institutions, gasoline filling stations and repair garages, personal service shops and limited wholesale activity.
  - (2) Restaurants, bars, limited amusement centers, liquor stores and party shops.
  - (3) Private clubs, walk-in theaters, assembly and concert halls.
  - (4) Commercial kennels and veterinary clinics.
  - (5) Any residential uses and uses allowed in B-1 or B-2 within the requirements of each district.
- (c) *Accessory uses.* Accessory uses in the B-3 district are as follows: Uses on the same lot and customarily incidental to the permitted uses including, but not limited to, private garages or parking structures for vehicles, off-street parking and loading zones and storage facilities.
- (d) *Area and yard requirements.* Area and yard requirements in the B-3 district are as follows:
- (1) Minimum lot size: Not applicable.
  - (2) Minimum lot frontage: 50 feet.
  - (3) Front yard setback: 30 feet. Exceptions may occur for situations as approved by the town's commercial design review board when reviewing for approval the siting of a proposed new building such as on those properties considered a part of the town's commercial business district or within a town center planned development. In these instances, the board may approve the structure to be sited closer to the property line than 30 feet.
  - (4) Side yard setback: Buffer requirements for protection of adjacent property.
  - (5) Back yard setback: Buffer requirements for protection of adjacent property.
- (e) *Permitted uses.* These uses (subsections (e)(1)–(8), below) shall meet the conditions set forth in subsections (f)(1)–(5) below.
- (1) New and or used car, truck and machinery sales and or repair.
  - (2) Funeral homes.
  - (3) Major amusement facilities including golf driving ranges, golf courses, roller skating rinks and swimming pools.
  - (4) Hotels and motels.
  - (5) Campgrounds and overnight trailer courts.
  - (6) Wholesale, warehouse and storage facilities including building materials and lumberyards.
  - (7) Drive-in theaters and restaurants.
  - (8) Transportation facilities including bus depots, trucking facilities and services that require the use of a fleet of vehicles.
- (f) *Area and yard requirements.*
- (1) Minimum lot size: Not applicable.
  - (2) Minimum lot frontage: 100 feet.
  - (3) Front yard setback: 30 feet.
  - (4) Side yard setback: Buffer requirements for protection of adjacent property.
  - (5) Back yard setback: Buffer requirements for protection of adjacent property.
- (g) *Signs.* Sign regulations for the B-3 district are found in article VI of this chapter.
- (h) *Parking requirements.* Parking requirements for the B-3 district are found in article VII of this chapter.
- (i) *Building design and site plan review.* Building design and site plan review for the B-3 district are as follows:
- (1) Maximum building height: 55 feet. This maximum height limit may be waived on those parcels that meet the following conditions:
    - a. The parcel has at least 50 feet of frontage on a publicly maintained roadway; and
    - b. The parcel fronts on U.S. Hwy. 78, or is located north of U.S. Hwy. 78 as the town currently and continues to extend towards and beyond Interstate 26; and
    - c. The parcel is located within the block of U.S. Hwy. 78, and extends the width of the block to either West 4th North Street or East 4th North Street; and
    - d. Approval for other areas of town may be considered for overall height approval by the board of architectural review for the historic district or the commercial design review board for all other commercial areas of the town.
  - (2) Maximum impervious surface area: 80 percent.
  - (3) See article VIII of this chapter for site plan review requirements.
- (Ord. No. 2001-0601, § 20-35, 6-1-2001; Ord. No. 08-0802, 9-10-2008; Ord. No. 11-1202, 1-11-2012)  
 Cross reference— Business, ch. 8.

(g) *Building design and site plan review.* Building design and site plan review for the PL district are as follows:

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- (2) Maximum impervious surface area: As approved by town council.
- (3) See article VIII of this chapter for site plan review requirements.

(Ord. No. 2001-0601, § 20-39, 6-1-2001)

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(Ord. No. 2001-0601, § 20-40, 6-1-2001)

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(a) *Continuation of nonconforming use of land.* The lawful use of land existing at the time of adoption of this chapter, or of an amendment thereto, although such use does not conform to the provisions thereof, may be continued; but if such nonconforming use is discontinued, as evidenced by lack of use for a period of at least one year (12 consecutive months) or for 18 accumulative months during any three-year period, or by substitution of a conforming use, any future use of such land shall be in conformity with the provisions of this chapter.

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(c) *Changing of a nonconforming use.* Whenever a nonconforming use of a structure has been changed to a conforming use, such use shall not thereafter be changed back to a nonconforming use. Existing nonconforming uses which become conforming through a change in land classification submitted by the applicant shall be required to meet all off-street parking, boarding and screening as applicable to that district.

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(e) *Nonconforming approved lots of record.* Any lot of record at the time of passage or amendment of this chapter which does not comply with this chapter shall be considered a nonconforming lot.

(Ord. No. 2001-0601, § 20-41, 6-1-2001)

**State law references:** Nonconformities, S.C. Code 1976, § 6-29-730.



Town of Summerville



Department of Planning & Development  
 BOARD OF ARCHITECTURAL REVIEW SIGN IN SHEET

<u>Name</u>	<u>Address</u>
Carlynn A. Smith Walterford P.C. Smith	201 <sup>and 205</sup> S. Hickory ST
ARTAMR APPEALATE Hank D'Antonio	9 The Norchester Hoff D'Antonio Assoc 34 Radcliffe St Chas, SC,
RICK REFF	STATEC : 446A CENTRE POINT DR, SUITE 200 N. CHAS., SC
<del>BARBARA</del> Erica Chase	Statec Asame
Tony Giuliani	Goff D'Antonio Associates

*Administrative*

11/3/2014

Town of Summerville



Department of Planning & Development  
BOARD OF ARCHITECTURAL REVIEW SIGN IN SHEET - 3 MINUTE LIMIT

requested to be listed

<u>Name</u>	<u>Address</u>
→ ELAINE SEGELKEN	555 SIMMONS AVE
→ Christine Czarnik	406 S. Gum St
→ Nathan Rice	206 Central Ave
→ William A. Harbeson	403 West 34 <sup>th</sup> South Street
→ DAVE COMER	708 W. RICHARDSON AVE
JOYCE DELK	208 ESSEX DR
Peter GORMAN	313 S. MAGNOLIA
Meywood Hutson	215 Golf Rd

Adrian Kwart

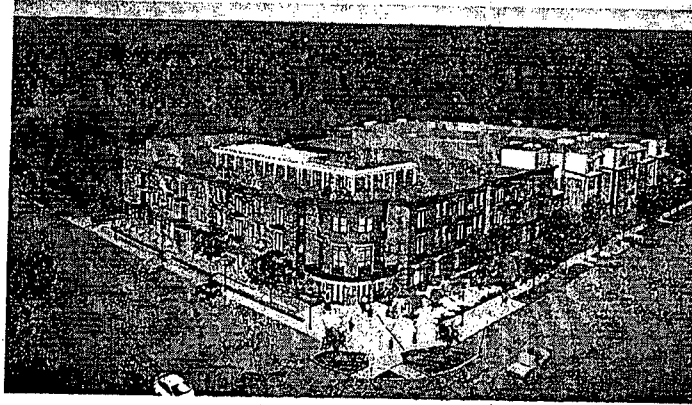
11/3/2014

FOR THE DORCHESTER - DOWNTOWN HOTEL

TMS	NAME	ADDRESS	CITY	STATE	ZIP5	PROPERTY LOCATION
137-07-03-005	SUMMERVILLE FAMILY YMCA	140 S CEDAR ST	SUMMERVILLE	SC	29483	S CEDAR ST 140
137-06-10-006	RAVA LLC C/O RICHARD C AYERS	214 S PINE ST APT A	SUMMERVILLE	SC	29483	S LAUREL ST
137-06-10-005	RAVA LLC C/O RICHARD C AYERS	214 S PINE ST APT A	SUMMERVILLE	SC	29483	S PINE ST 214
137-07-04-006	DAVENPORT PROPERTIES OF S	210 S CEDAR ST	SUMMERVILLE	SC	29483	S CEDAR ST 210
137-07-04-001	CROFT FAYE P AS TRUSTEE OF CROFT TRUST	1596 LONGRIDGE RD	MONCK'S CORNER	SC	29461	W RICHARDSON AVE 214
137-07-04-009	FREEMAN CATHERINE W ET AL	215 W 2ND SOUTH ST	SUMMERVILLE	SC	29483	W 2ND SOUTH ST 215
137-07-04-007	GAITHER ANNE W	213 W 2ND SOUTH ST	SUMMERVILLE	SC	29483	W 2ND SOUTH ST 213
137-07-04-010	FREEMAN CATHERINE W ET AL	215 W 2ND SOUTH ST	SUMMERVILLE	SC	29483	W 2ND SOUTH ST 215
137-07-07-020	COMMISSIONER OF PUBLIC WO	PO BOX 817	SUMMERVILLE	SC	29484	W RICHARDSON AVE 135
137-07-06-006	BUCK BETTY M & WILBUR P A	1041 CUMMINGS CIR	MOUNT PLEASANT	SC	29464	CENTRAL AVE 143
137-07-06-007	MICKALIS PROPERTIES LLC	627 W 2ND SOUTH ST	SUMMERVILLE	SC	29483	CENTRAL AVE 143
137-06-09-002	CHURCH-ST LUKE EVANGELICA	206 CENTRAL AVE	SUMMERVILLE	SC	29483	CENTRAL AVE 206
137-07-05-001	SUMMERVILLE ERA LLC	1895 BOWENS ISLAND RD	CHARLESTON	SC	29412	W RICHARDSON AVE 140
137-07-05-005	LYNCH SEYMOUR REVOCABLE L C/O SPENCER J LYNCH	1567 SPINNAKER LN	CHARLESTON	SC	29407	CENTRAL AVE 120
137-07-06-008	ANGELICA P GAMBLE LLC	PO BOX 772	ISLE OF PALMS	SC	29451	CENTRAL AVE
137-07-05-002	QMM LLC	136 W RICHARDSON AVE	SUMMERVILLE	SC	29483	W RICHARDSON AVE 136
137-07-05-008	COUCH JOHN N	111 DORCHESTER AVE	SUMMERVILLE	SC	29483	S CEDAR ST 217
137-07-05-007	SPEARMAN JAMES D & EMILY	206 CHAUSSEE BLVD	SUMMERVILLE	SC	29483	S CEDAR ST 219
137-07-05-006	CENTRAL AVENUE LLC	1567 SPINNAKER LN	CHARLESTON	SC	29407	S CEDAR ST 237
137-07-05-009	JASMAR & ASSOCIATES LLC	PO BOX 3260	SUMMERVILLE	SC	29484	CENTRAL AVE 114
137-07-05-003	PAS PARTNERS LLC	210 WEXTON CT	SUMMERVILLE	SC	29485	W RICHARDSON AVE 132
137-07-02-004	BOSWELL THAYER A	PO BOX 117	SUMMERVILLE	SC	29484	S PINE ST
137-06-10-004	HARSHAW CHARLES E	PO BOX 2544	SUMMERVILLE	SC	29484	S PINE ST 208
137-06-10-007	HUTSON HEYWARD G	215 GOLF RD	SUMMERVILLE	SC	29483	W RICHARDSON AVE 304
137-07-03-007	HUTSON HEYWARD G	215 GOLF RD	SUMMERVILLE	SC	29483	W RICHARDSON AVE 207
137-07-03-001	SUMMERVILLE FAMILY YMCA	140 S CEDAR ST	SUMMERVILLE	SC	29483	S CEDAR ST 118
137-07-03-008	BOUCHARD ADELL H	211 W RICHARDSON AVE	SUMMERVILLE	SC	29483	W RICHARDSON AVE 211

Nov. Mtg.

CONCEPTUAL BAR SUBMITTAL  
NOVEMBER 4, 2014



**THE DORCHESTER**  
SUMMERVILLE, S.C.

APPLEGATE & CO. / Arthur Applegate  
4130 Faber Place Drive  
N. Charleston, SC 29405

Civil:

**Stantec**

4917 Centre Pointe Drive  
Suite 200  
N. Charleston, SC 29418  
Tel: 843.742.7707  
PH: 843.742.4342  
www.stantec.com

Landscape:

**Stantec**

4917 Centre Pointe Drive  
Suite 200  
N. Charleston, SC 29418  
Tel: 843.742.7707  
PH: 843.742.4342  
www.stantec.com

Architect:

**Goff-D'Antonio Associates**

34 Appleton Street  
Charleston, SC 29403  
Tel: 843.579.9744  
PH: 843.577.2143  
www.goffdantonio.com

Structural:

**Tobias & West**

1514 Appletree Farm Road  
850 N. Allen St  
Mount Pleasant, SC  
29465  
Tel: 843.211.8740  
PH: 843.832.1821  
www.tobiaswest.com

PME:

**Saber Engineering**

2923 South Tryon Street  
Suite 203  
Columbia, SC 29203  
Tel: 704.273.2940  
PH: 704.273.2048  
www.saberengineering.com

Goff-D'Antonio Associates

Architecture  
Interior  
Planning

14 Appleton Street  
Charleston, SC 29403  
Tel: 843.579.9744  
PH: 843.577.2143  
www.goffdantonio.com

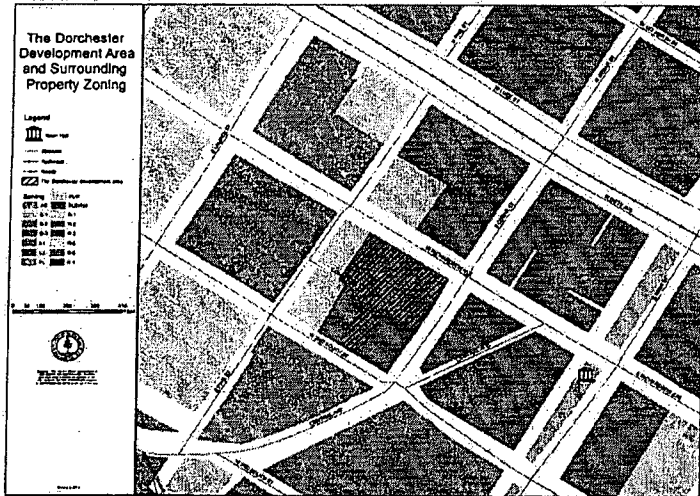
**THE DORCHESTER**  
SUMMERVILLE, S.C.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

COVER  
COVER

DATE:	PROJECT:
NOV 04 2014	A000
PROJECT:	DATE:
THE DORCHESTER	NOV 04 2014
PROJECT NO:	PROJECT NO:
1514	1514

**A000**

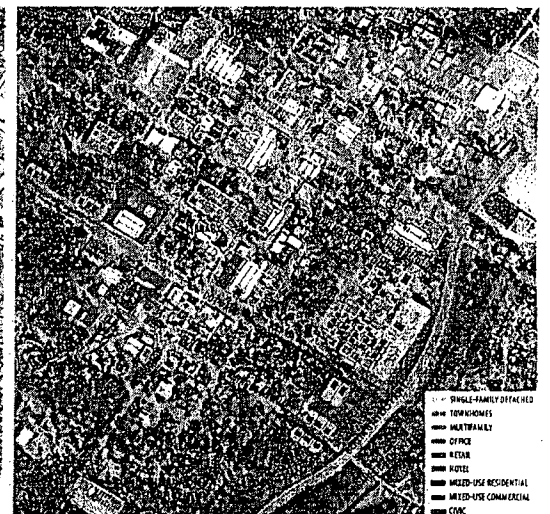
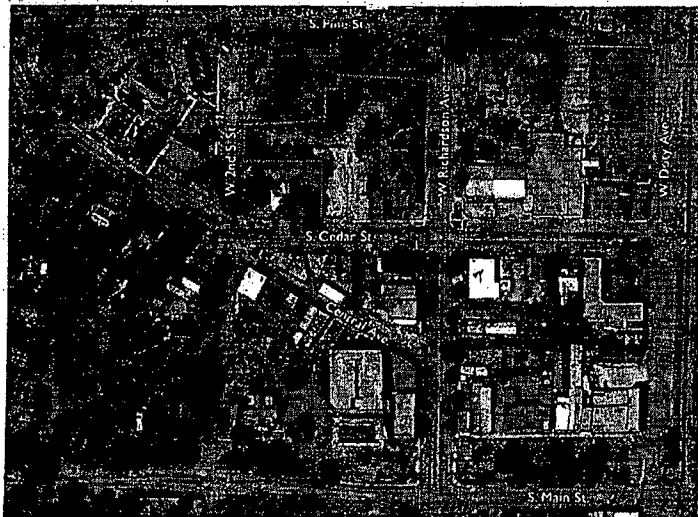


**Zoning: B-3/Central Business District**

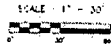
Total Site Area: 2.24 acres  
 Maximum Height: 55 ft.  
 Minimum Setback: W. Richardson Ave. - 0 ft.  
 S. Cedar St. - 0 ft.  
 W. 2nd S. St. - 0 ft.  
 Adjacent Property - 5 ft.

Provided Maximum Height: 55 ft. at garage elevator  
 Provided Minimum Setback: W. Richardson Ave. - 10 to 20 ft.  
 S. Cedar St. - 10 ft.  
 W. 2nd S. St. - 15 ft.  
 Adjacent property - 5 ft. - 14 ft.

DISTRICT GROWTH STRATEGY					
District	Character & Vision	Major Issues	Next Steps	Priority	
Urban Village	Urban Village is a neighborhood of the City that is characterized by a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types.	Urban Village is a neighborhood of the City that is characterized by a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types.	Urban Village is a neighborhood of the City that is characterized by a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types.	Urban Village is a neighborhood of the City that is characterized by a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types.	Urban Village is a neighborhood of the City that is characterized by a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types.
Neighborhood	Neighborhood is a neighborhood of the City that is characterized by a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types.	Neighborhood is a neighborhood of the City that is characterized by a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types.	Neighborhood is a neighborhood of the City that is characterized by a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types.	Neighborhood is a neighborhood of the City that is characterized by a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types.	Neighborhood is a neighborhood of the City that is characterized by a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types. The neighborhood is a mix of building heights, building styles, and building types.



**The Dorchester- Site Zoning and Vision Plan**



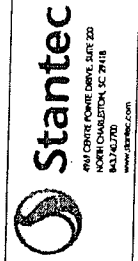
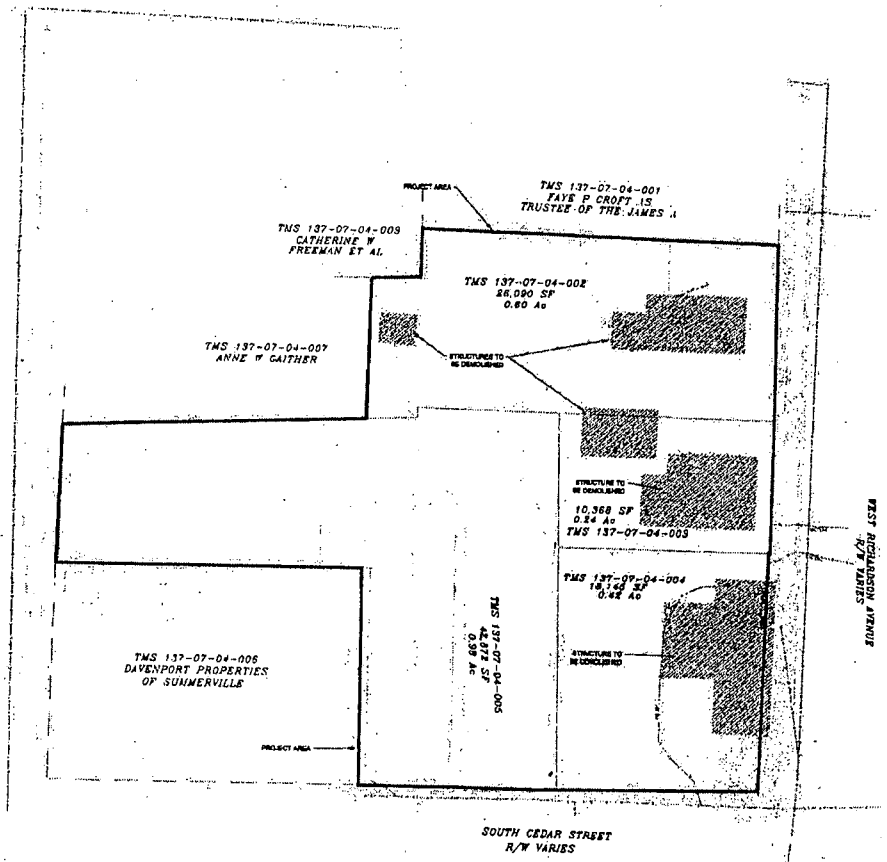
OWNERSHIP CHART:

TMS 137-07-04-001	EDWIN OF SUMMERSVILLE
TMS 137-07-04-002	SANTIC GATES ET AL
TMS 137-07-04-003	FATMA PARTNERSHIP
TMS 137-07-04-004	EDWIN OF SUMMERSVILLE

LN#	SEGN	PCSRVD
14	28-24	N 47°03'57" E
15	18-41	N 52°31'28" E
16	4-22	S 29°55'57" E
17	28-18	S 86°31'21" E
18	1-01	S 81°42'51" E

REFERENCES:  
 1. TOPOGRAPHIC SURVEY OF TMS 1370-07-04-001, 002, 003 & 004 BY ASHLEY LAND SURVEYING, INC. DATED JUNE 2, 2014.



THE DORCHESTER  
 SUMMERSVILLE, S.C.

REV	DESCRIPTION	DATE

DEP W-2  
**B.A.R. DEMOLITION SUBMITTAL**

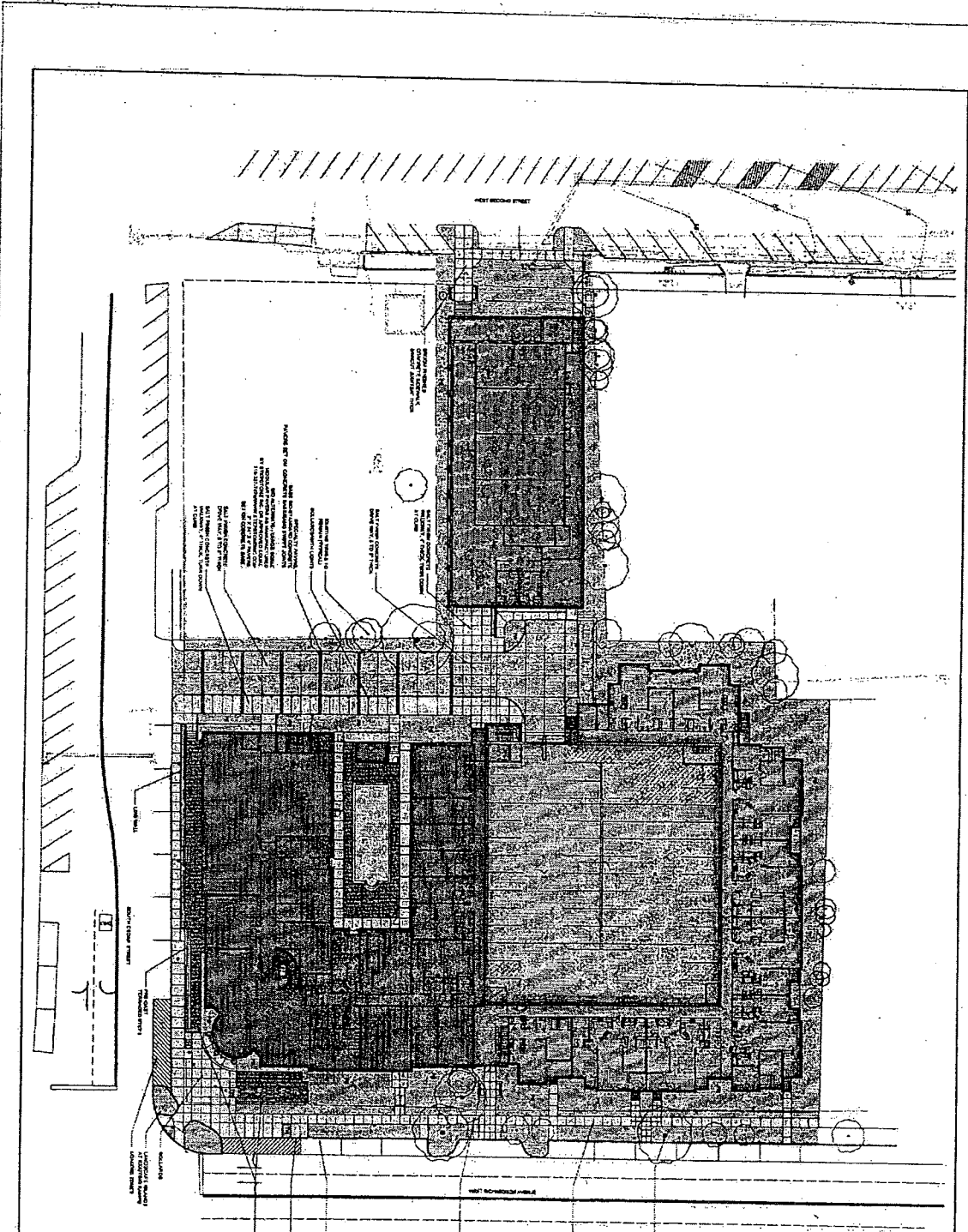
DESIGNED BY: BH  
 CHECKED BY: EKC

PROJECT NUMBER: 176420437

ISSUE DATE: AUGUST 19, 2014

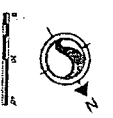
SCALE: 1" = 30'





NOTES:  
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
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 8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

KEY PLAN



NOTES:  
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
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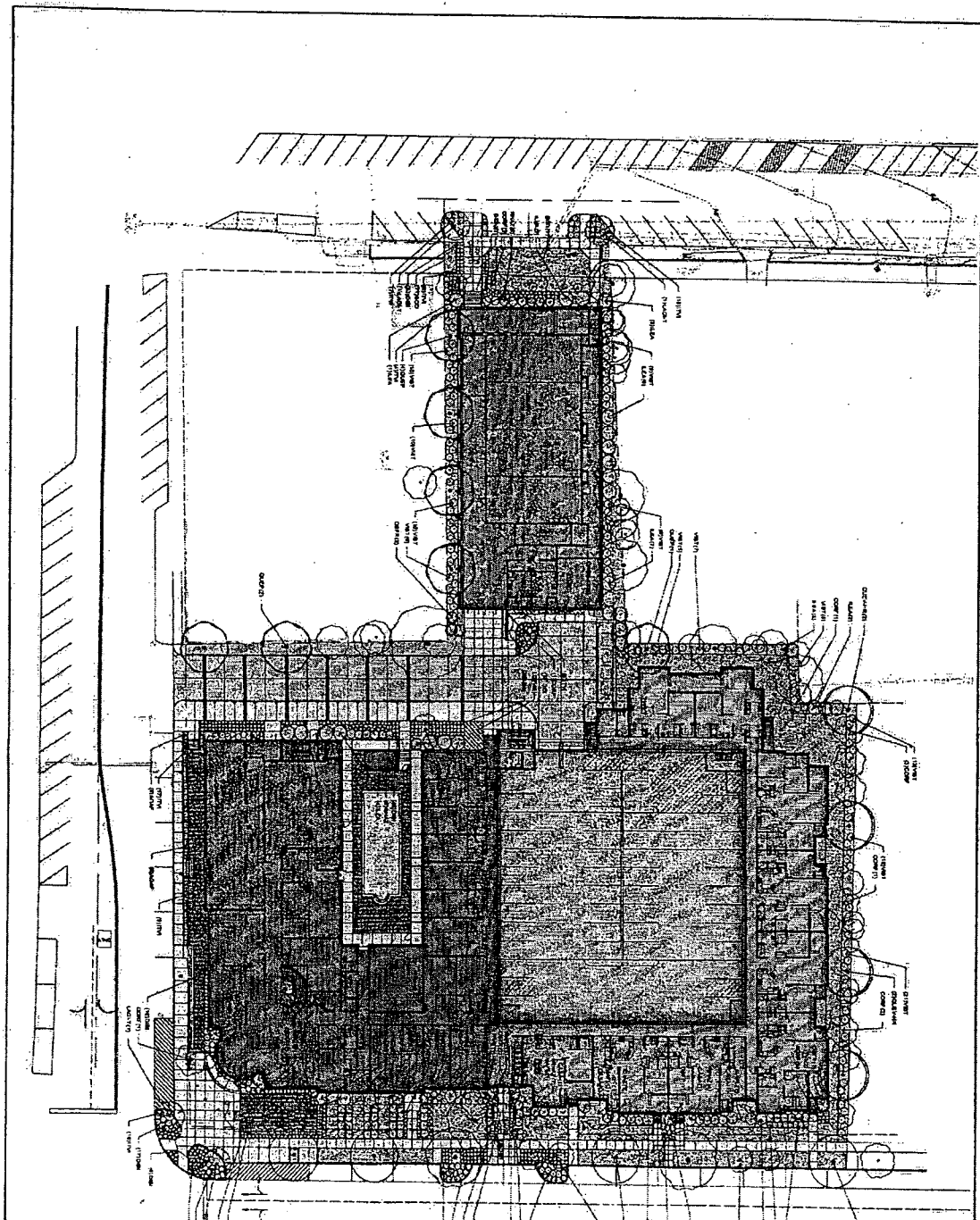
PROJECT NO.	L101
DATE	10/11/2011
SCALE	AS SHOWN
DESIGNED BY	NOEL O'NEILL
DRAWN BY	NOEL O'NEILL
CHECKED BY	NOEL O'NEILL
DATE PLOTTED	10/11/2011 11:24:11 AM
PLotted by	NOEL O'NEILL

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	10/11/2011
2	ISSUED FOR CONSTRUCTION	10/11/2011
3	ISSUED FOR AS-BUILT	10/11/2011

**THE DORCHESTER**  
 SUMMERVILLE



**Stantec**  
 4947 CENTRE POINTE DRIVE, SUITE 200  
 NORTH CHARLESTON, SC 29418  
 843.740.7700  
 www.stantec.com



**KEY PLAN**

**SCHEMATIC LANDSCAPE PLAN**

DATE: 11/11/2011  
 PROJECT: THE DORCHESTER  
 CLIENT: [REDACTED]  
 DRAWN BY: [REDACTED]  
 CHECKED BY: [REDACTED]

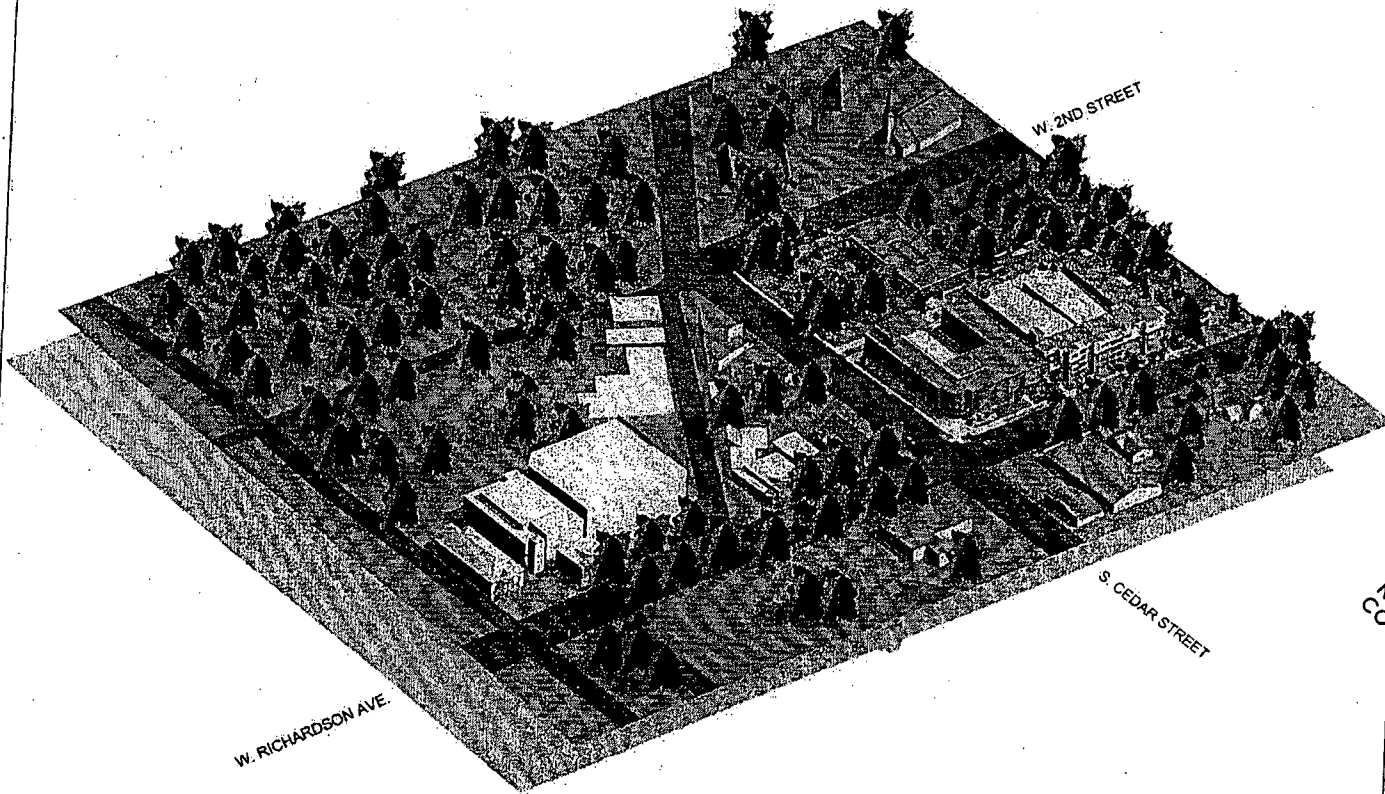
NO.	DESCRIPTION	DATE

**THE DORCHESTER**  
 SUMMERVILLE

**Stantec**

8747 CENTRE POINTE DRIVE, SUITE 200  
 NORTH CHARLESTON, SC 29418  
 843.742.1700  
 www.stantec.com

**L201**



SOUTHEAST AERIAL PERSPECTIVE

Goff/D'Antonio Associates  
 Architects  
 11400 10th Street  
 Columbia, SC 29405  
 803/771-1111  
 Fax: 803/771-1111

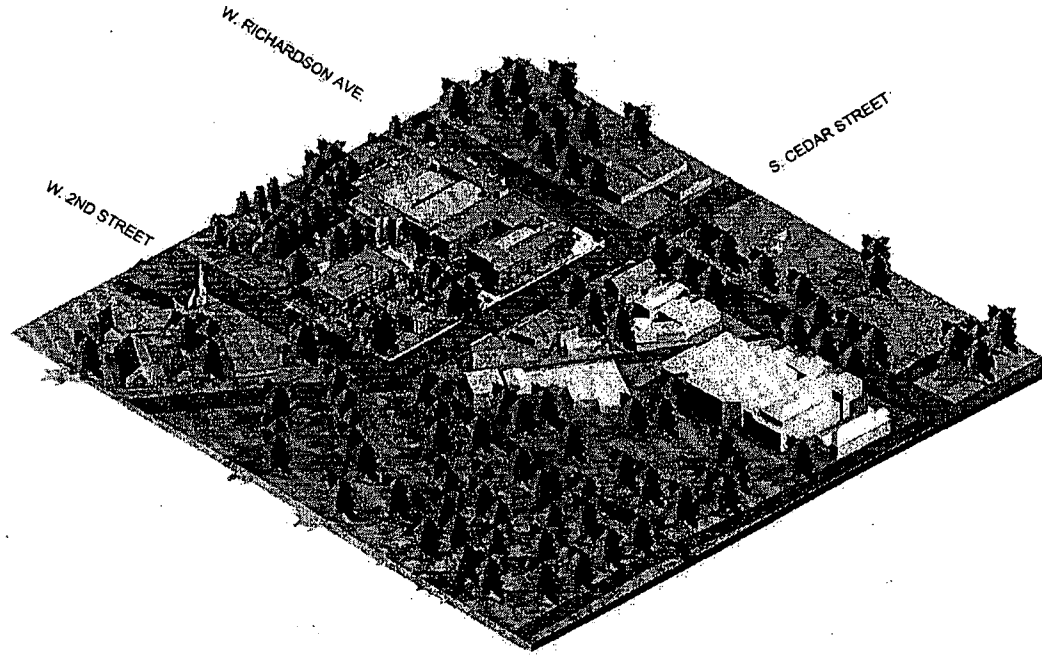
THE DORCHESTER  
 SUMMERVILLE, S.C.

NO.	DESCRIPTION	DATE

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

SHEET TITLE  
**BUILDING  
 PERSPECTIVES**  
 DRAWN BY: PDC/COR  
 CHECKED BY: CWS/BLR  
 PROJECT NUMBER: 1208-00  
 SCALE: 1/8" = 1'-0"  
 SHEET NO. 1 OF 1

A206



SOUTHWEST AERIAL PERSPECTIVE

Geoff D'Antonio Associates  
 ARCHITECTS  
 BUILDING  
 PLANNING

14 Beaufort Lane  
 Charleston, SC 29405  
 803.733.2100  
 www.gdaa.com

THE DORCHESTER  
 SUMMERVILLE, S.C.

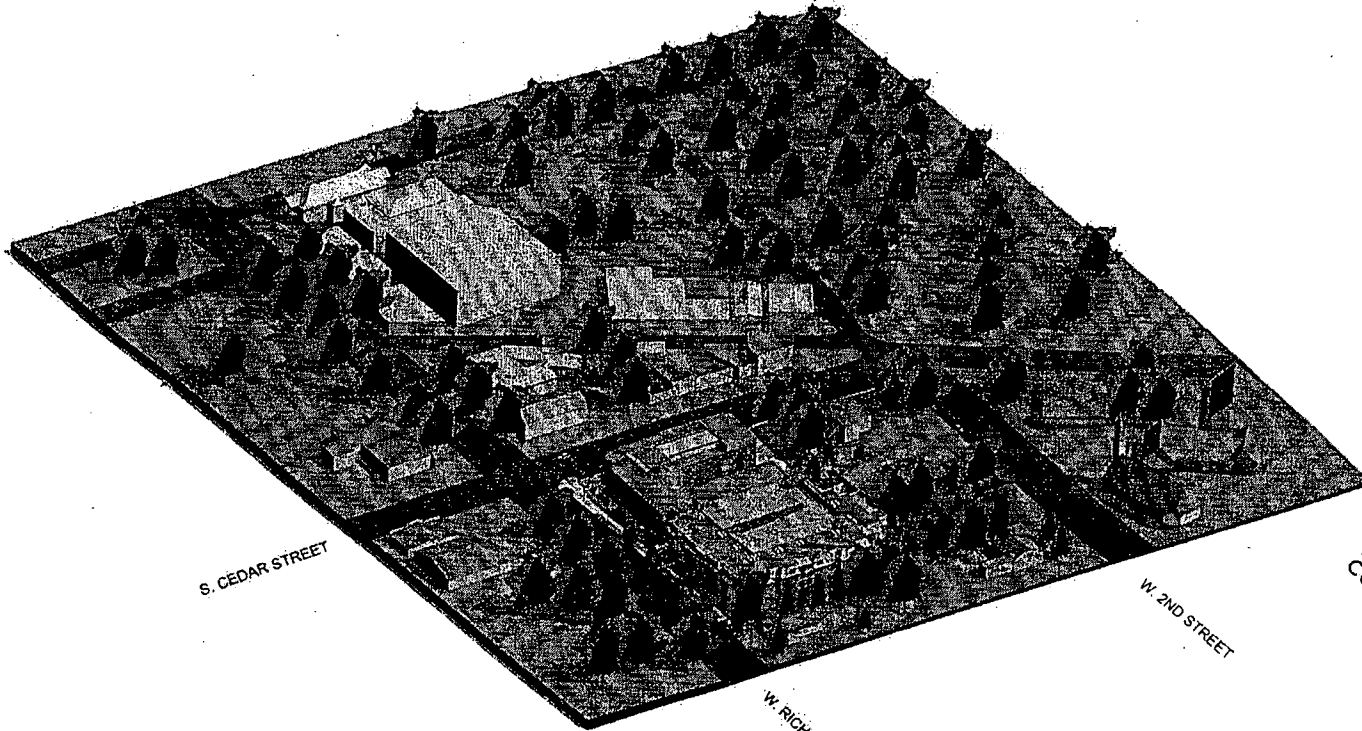
NO.	DESCRIPTION	DATE

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

THIS IS A  
 BUILDING  
 PERSPECTIVE

DESIGNED BY	PROJECT CODE
DRAWN BY	CLIENT
PROJECT NUMBER	ISSUES
ISSUE DATE	NOTED (I, S, I)
DESIGN NO.	

**A207**



NORTHEAST AERIAL PERSPECTIVE

Geoff D'Antonio Associates

Architect  
Interior  
Planner  
A Building Firm  
Architects, PC (PA)  
1000 W. 2ND ST  
SUITE 100  
SUMMERVILLE, SC 29583  
www.gda.com

THE DORCHESTER  
SUMMERVILLE, S.C.

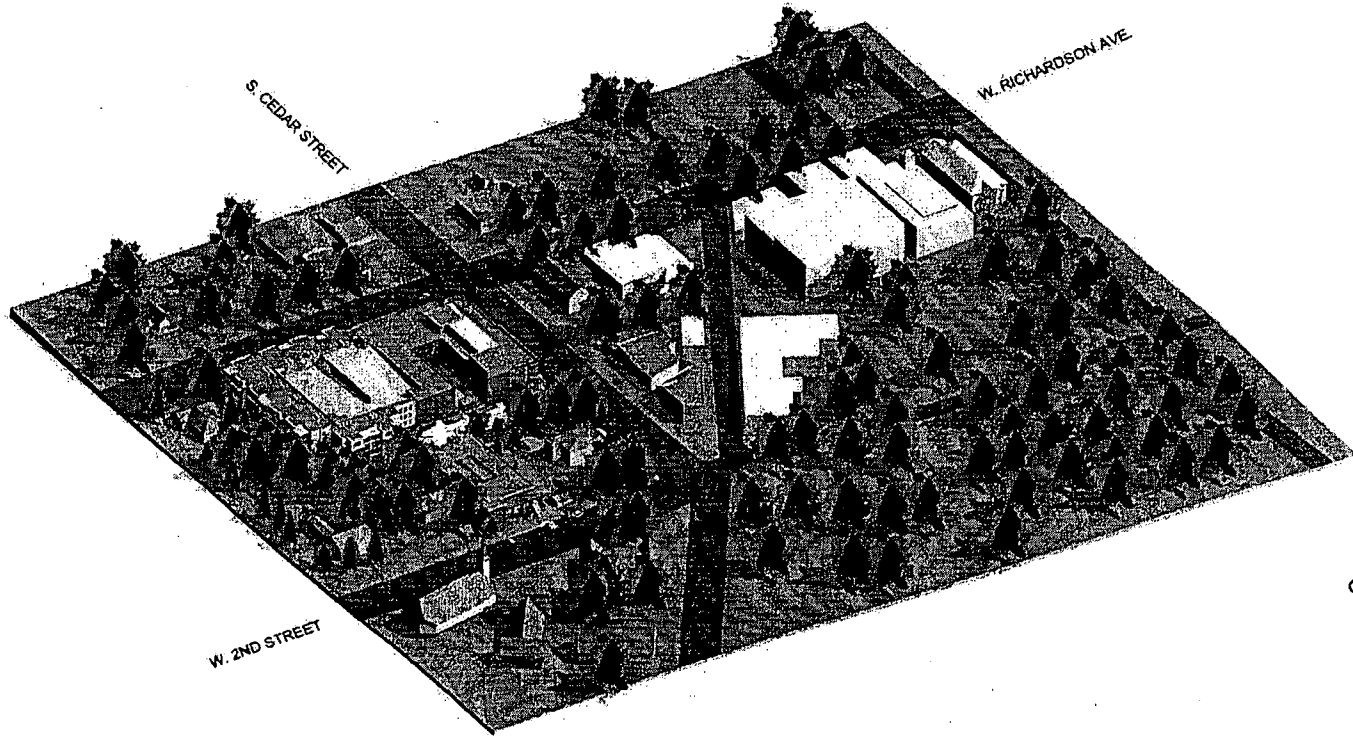
NO.	REVISION	DATE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SHEET NO. 1  
BUILDING  
PERSPECTIVES

DATE PLOT:	PROJECT CODE:
AUTHOR:	CLIENT:
PROJECT NAME:	DATE:
SHEET NO.:	TOTAL SHEETS:

A208



NORTHWEST AERIAL PERSPECTIVE

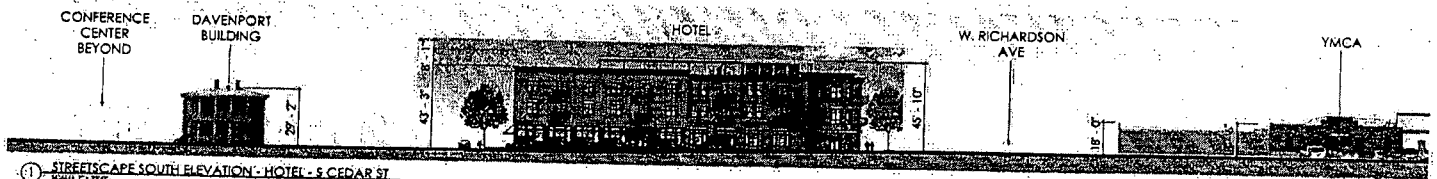
Geoff D'Antonio Associates  
 14 Middle St.  
 Charleston, SC 29401  
 803.733.1070  
 www.gdaassociates.com

**THE DORCHESTER**  
 SUMMERVILLE, S.C.

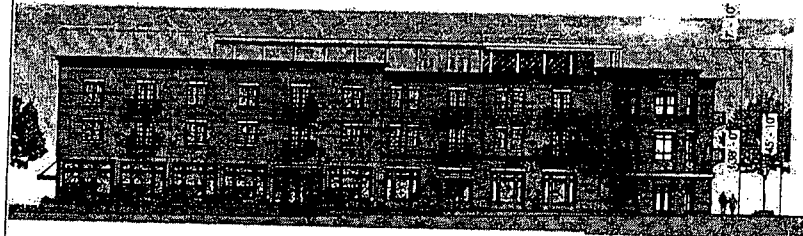
NO.	DESCRIPTION	DATE

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

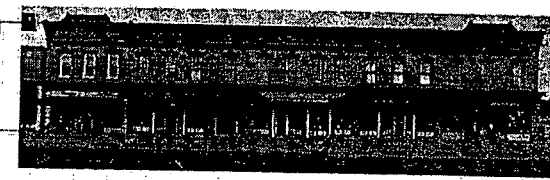
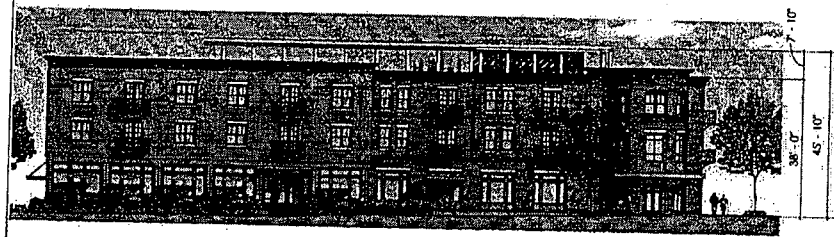
DATE PLOTTED: 11/20/11  
 DRAWING PERSPECTIVES  
 DRAWN BY: JACOB COOK  
 CHECKED BY: JACOB COOK  
 PROJECT NUMBER: 100000  
 SHEET DATE: NOVEMBER 1, 2011  
 DRAWING NO. **A209**



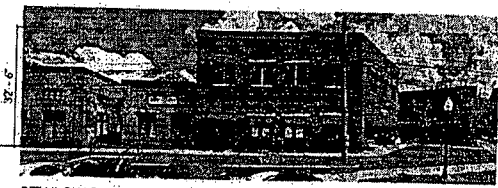
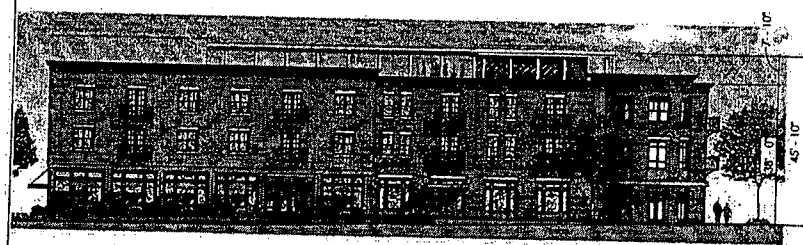
① STREETSCAPE SOUTH ELEVATION - HOTEL - S CEDAR ST



HISTORIC & NEW CITY HALL



RETAIL BUILDING @ MAIN STREET



RETAIL BUILDING @ 238 S. CEDAR ST

CONTEXT ELEVATIONS

Conf'D/Visuoso Associates  
 1100 North Main Street  
 Suite 200  
 Charlottesville, VA 22902  
 Phone: (434) 973-1100  
 Fax: (434) 973-1101  
 www.confdivisus.com

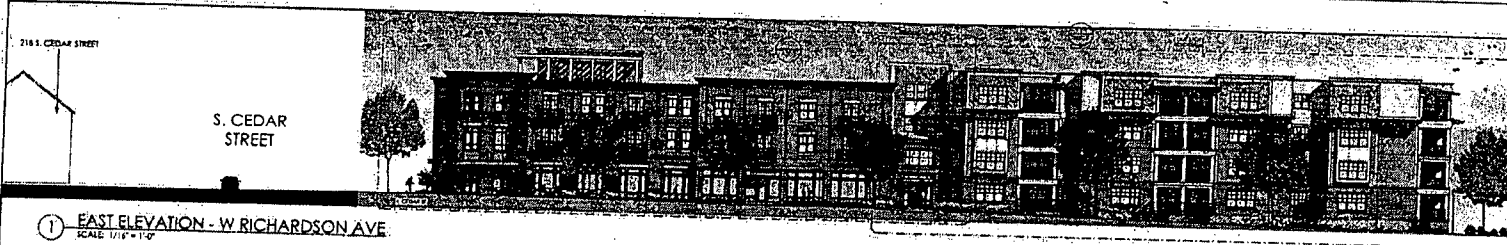
THE DORCHESTER  
 SUMMERVILLE, S.C.

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

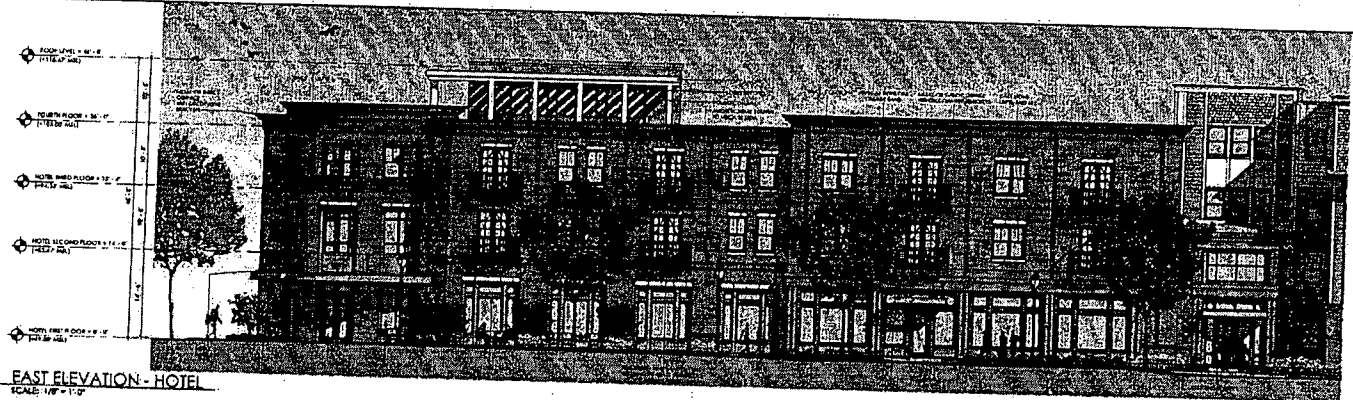
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PROJECT NAME	THE DORCHESTER
DATE	01/11/2011
PROJECT NUMBER	1012
SCALE	AS SHOWN ON DRAWING
DATE	01/11/2011
PROJECT NUMBER	1012

A213

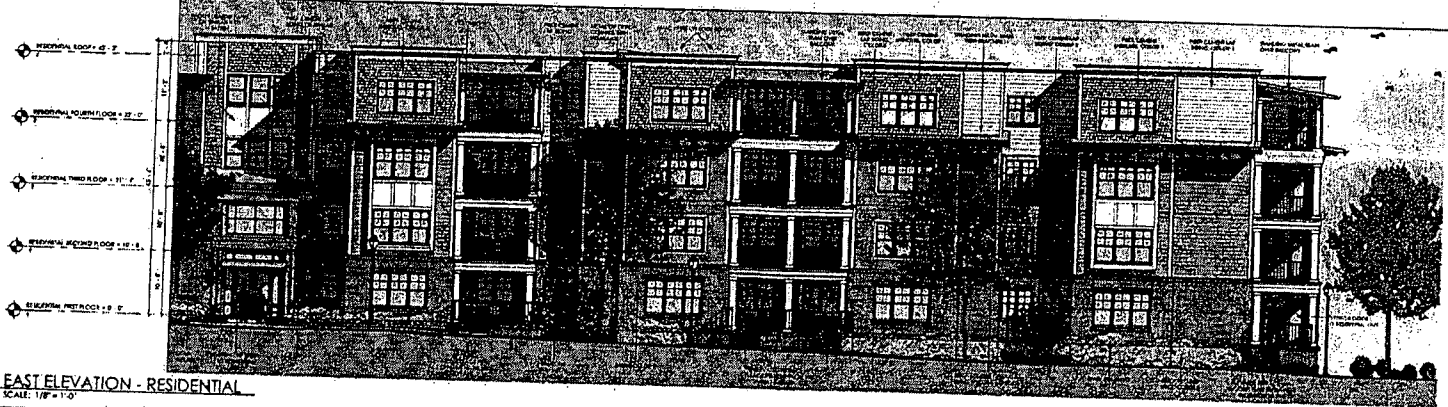




1 EAST ELEVATION - W RICHARDSON AVE  
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION - HOTEL  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION - RESIDENTIAL  
SCALE: 1/8" = 1'-0"

Groff-D'Antonio Associates

Architects  
Interior Designers  
Planners  
4000 E. South Street  
Suite 100  
Greenville, SC 29615  
864.732.2100  
www.groff-dantonio.com

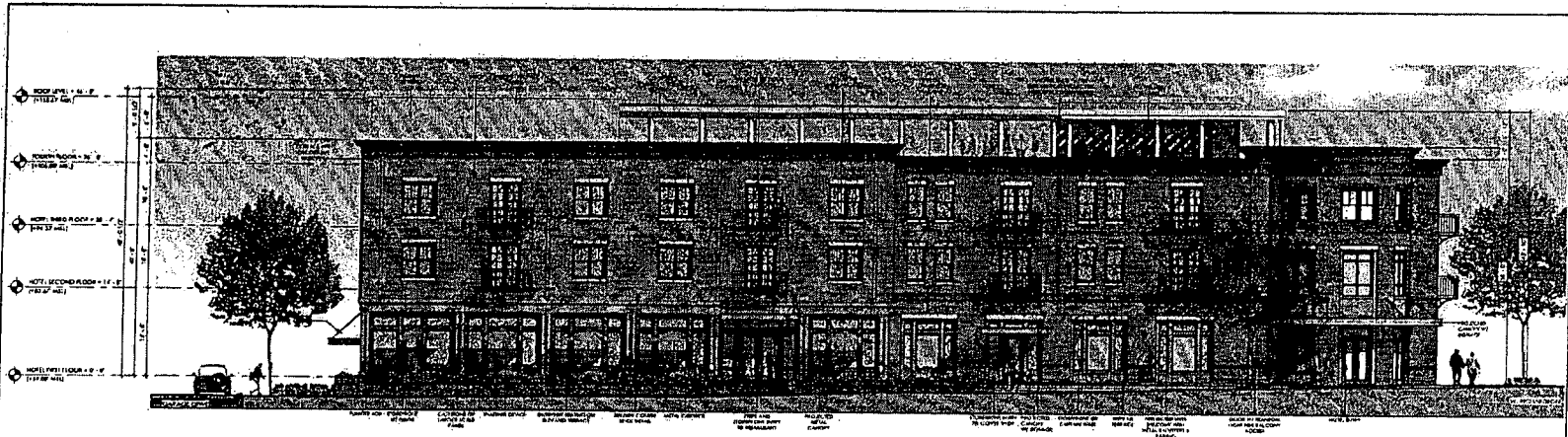
THE DORCHESTER  
SUMMERVILLE, S.C.

REV.	DESCRIPTION	DATE

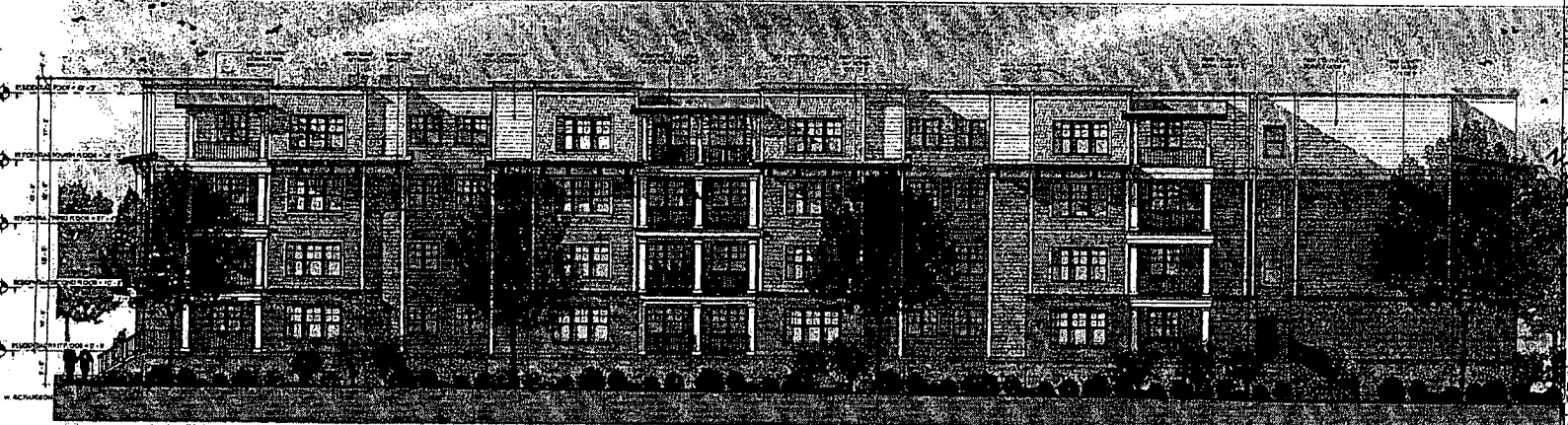
PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT NO. 1001  
BUILDING ELEVATIONS  
HOTEL & RESIDENTIAL  
DRAWN BY: MCO, COOP  
REV: 001  
PROJECT NUMBER: 1001-01  
DATE OF REV: 10/20/11  
DATE DRAWN: 10/20/11

A201



① SOUTH ELEVATION - HOTEL - S CEDAR ST.  
SCALE: 1/8" = 1'-0"



② NORTH ELEVATION - RESIDENTIAL  
SCALE: 1/8" = 1'-0"

Goff-D'Antonio Associates  
 Architects  
 Business  
 Consulting  
 11 Ashby Street  
 Charleston, S.C. 29402  
 Phone: 843.727.3441  
 www.goff-dantonio.com

**THE DORCHESTER**  
 SUMMERVILLE, S.C.

REV.	DESCRIPTION	DATE

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

SHEET TITLE  
 BUILDING ELEVATIONS -  
 HOTEL & RESIDENTIAL

DRAWN BY: [Signature] PROJECT NO.: 1200101  
 CHECKED BY: [Signature]

DATE DRAWN: 10/14/10 DATE PLOTTED: 10/14/10  
 DRAWING NO.

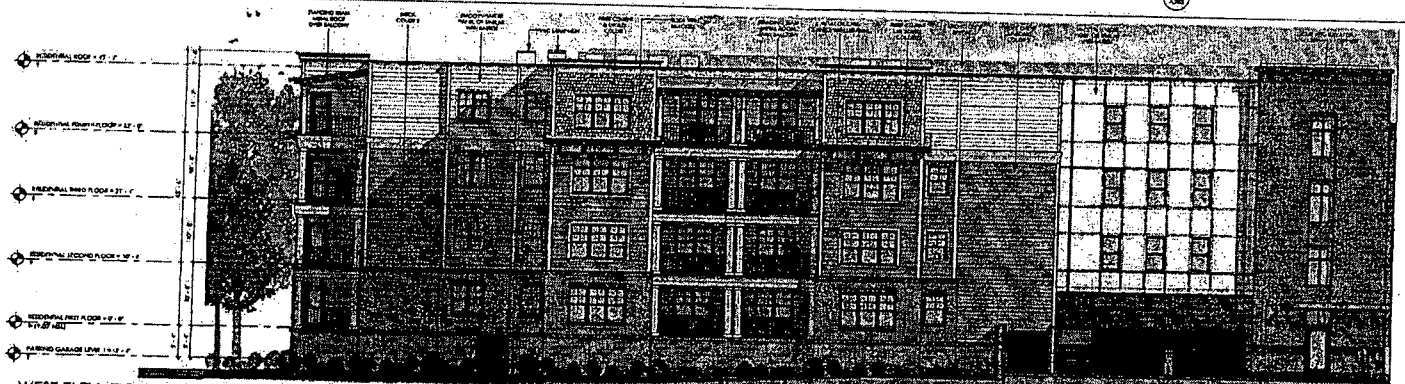
**A202**

9101

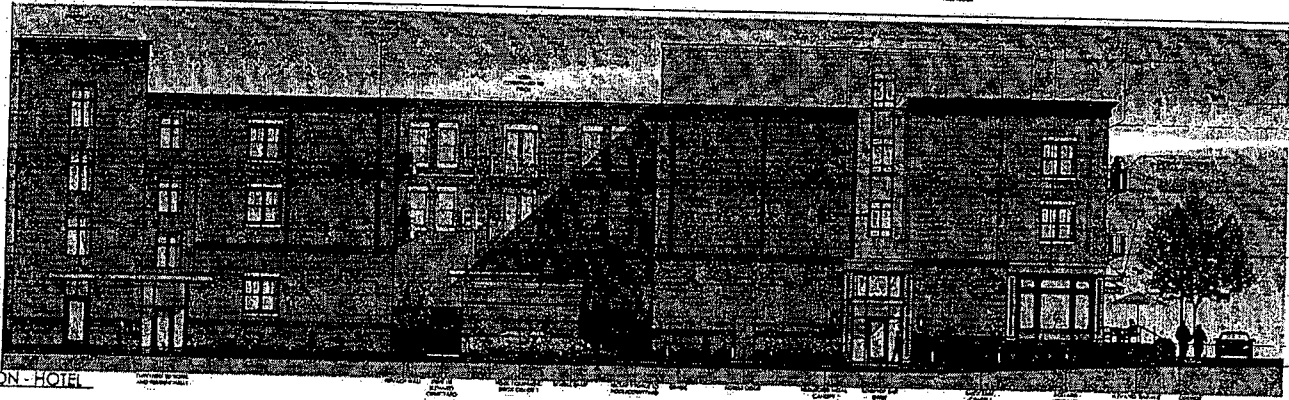


S. CEDAR STREET

1 WEST ELEVATION RESIDENTIAL & HOTEL  
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION - RESIDENTIAL  
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION - HOTEL  
SCALE: 1/8" = 1'-0"

Goff-D'Astous Associates

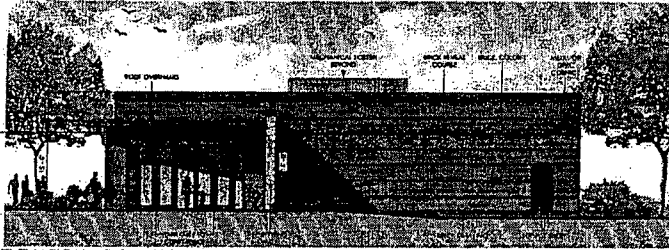
Architects  
Planning  
1000 Park  
Summerville, SC 29587  
803-773-1100  
www.goffda.com

THE DORCHESTER  
SUMMERVILLE, S.C.

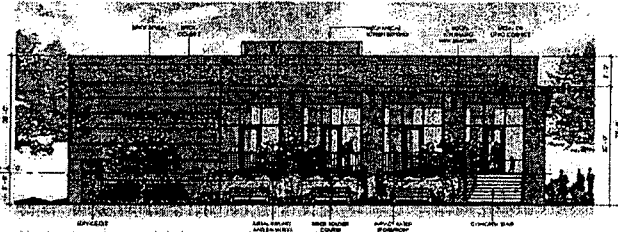
REV.	DESCRIPTION	DATE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

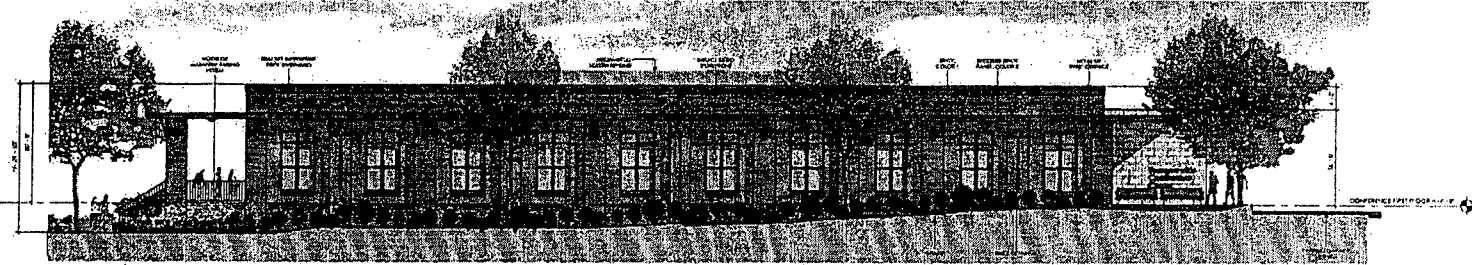
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DESIGN BY: Goff-D'Astous	PROJ. CODE: 1303000
CHECKED BY: Goff-D'Astous	DATE: September 24, 2014
DRAWING NO. A203	



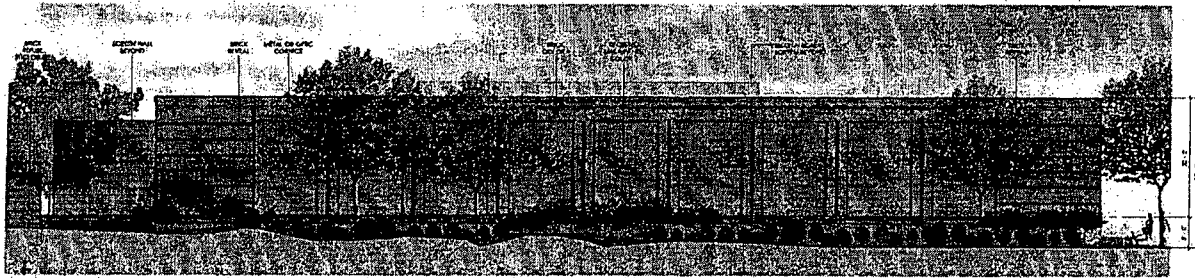
① EAST ELEVATION - CONFERENCE  
SCALE: 1/8" = 1'-0"



② WEST ELEVATION (W. 2ND ST.) - CONFERENCE  
SCALE: 1/8" = 1'-0"



④ SOUTH ELEVATION - CONFERENCE  
SCALE: 1/8" = 1'-0"



③ NORTH ELEVATION - CONFERENCE  
SCALE: 1/8" = 1'-0"

Goff D'Antonio Associates

14 Ashley Blvd.  
Charleston, SC 29407  
P: 843-727-7474  
www.goffdantonio.com

ARCHITECT  
INTERIOR  
PLANNING

THE DORCHESTER  
SUMMERVILLE, S.C.

REV	DESCRIPTION	DATE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SHEET 004  
BUILDING ELEVATIONS -  
CONFERENCE CENTER

DRAWN BY: JTY  
PROJ. CODE: 004

PROJECT NUMBER: 1000-02

SUBJ. DATE: September 21, 2014

DRAWING NO.

A205



HOTEL ENTRY - S. CEDAR ST. W. RICHARDSON AVE.

Geoff D'Antonio ASSOCIATES

14 Executive Drive  
 Charlotte, NC 28207-7024  
 704.377.2161  
 www.geoffdantonio.com

**THE DORCHESTER**  
 SUMMERVILLE, S.C.

REV	DESCRIPTION	DATE

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

DATE PLOTTED: 11/11/2011  
 BUILDING PERSPECTIVES  
 PROJECT: THE DORCHESTER  
 SHEET: 1 OF 11  
 DRAWN BY: JLD  
 CHECKED BY: JLD  
 DATE: 11/11/2011

A209



HOTEL & RESIDENTIAL - W. RICHARDSON AVE.

Greiff/D'Aurizio Associates

Architect  
Interior  
Planning

14 Backlick Ave.  
Charleston, SC 29403  
803.733.7700  
www.greiffdaurizio.com

**THE DORCHESTER**

SUMMERVILLE, S.C.

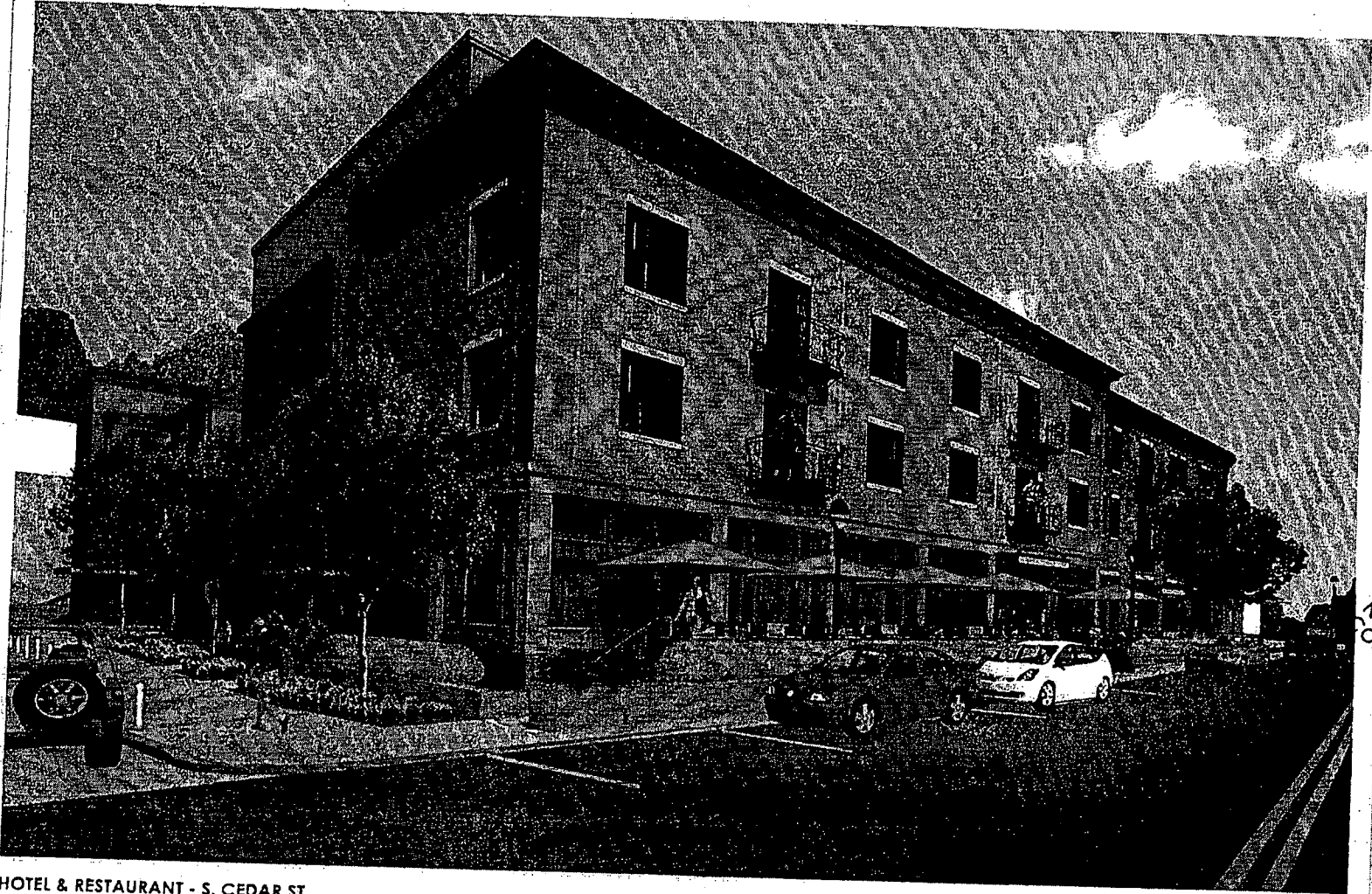
REV.	DESCRIPTION	DATE

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**GENERAL  
BUILDING  
PERSPECTIVES**

DESIGNED BY Greiff/D'Aurizio	PROJ. CODE 100100
PROJ. #/CT. NUMBER 100100/01	ISSUED BY GDA
SCALE DATE As Shown 10/20/10	DATE 10/20/10
DRAWING NO. A210	

**A210**



HOTEL & RESTAURANT - S. CEDAR ST.

Goff-D'Antonio Associates

1400 Main Street  
Dorchester, SC 29534  
803/777-1111  
www.goff-dantonio.com

**THE DORCHESTER**

SUMMERVILLE, S.C.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

SECTION  
BUILDING  
PERSPECTIVES

DATE:	10/11/11
BY:	CHD
CHECKED:	CHD
PROJECT NO.:	1000
DATE:	10/11/11
BY:	CHD
CHECKED:	CHD

A211

1021

1009



CONFERENCE CENTER - W. 2ND ST.

Goff-D'Antonio Associates

ARCHITECTS  
PLANNERS  
INTERIORS

THE DORCHESTER

SUMMERVILLE, S.C.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SECTION  
BUILDING  
PERSPECTIVES

DRAWN BY: FROM: COOL  
Alpha Omega

PROJECT NUMBER: 1000.00

DATE: September 26, 2011

ISSUED TO:

A212

**From:** Laura Greaver [<mailto:LGreaver@clawsonandstaubes.com>]  
**Sent:** Monday, August 17, 2015 9:02 AM  
**To:** Dickson, Edgar W. Law Clerk (Jenny Pittman) <[edicksonlc@sccourts.org](mailto:edicksonlc@sccourts.org)>; Becky Stevens <[BStevens@dorchestercounty.net](mailto:BStevens@dorchestercounty.net)>  
**Cc:** Rutledge Young <[ryoung@duffyandyoung.com](mailto:ryoung@duffyandyoung.com)>; mrose5@sc.rr.com; gwarinparker@bellsouth.net; Lisa Sharpe <[lsharpe@duffyandyoung.com](mailto:lsharpe@duffyandyoung.com)>; mrose5@sc.rr.com; Dickson, Edgar W. Secretary (Peggy Smith) <[edicksonsc@sccourts.org](mailto:edicksonsc@sccourts.org)>; J. Rutledge Young, Jr. <[jry@duffyandyoung.com](mailto:jry@duffyandyoung.com)>; Amanda Smith <[abb@p-tw.com](mailto:abb@p-tw.com)>; Tim Domin <[TDomin@clawsonandstaubes.com](mailto:TDomin@clawsonandstaubes.com)>; Andy Gowder <[wag@p-tw.com](mailto:wag@p-tw.com)>  
**Subject:** RE: Board Appeals Croft vs. Town of Summerville; 15-CP-18-877/991

Jenny,

We appeared before Judge Dickson on Friday for a hearing on the above-referenced appeals of decisions of the Summerville Board of Architectural Review. Pursuant to Judge Dickson's request at that hearing, attached are the Minutes of the BAR meetings of June, July and August of 2015, wherein the Findings of Fact and Conclusions of the BAR were discussed and ultimately approved.

Additionally, because there was some discussion at the hearing from Appellants' counsel regarding a potential stay of activity, we also are submitting for the Court's record the attached Affidavits of Mayor Collins and Arthur Applegate, which address some of the anticipated damages from delay of this project. As discussed at the hearing, we would request a bond from Appellants should a stay be considered, and we would be happy to be heard by the Court with respect to this issue should the Court be inclined to consider it.

Thanks so much and please let us know if we can provide any additional information.  
Laura

**CLAWSON  
AND  
STAUBES**  
LLC



Laura Simons Greaver  
Licensed in SC

126 Seven Farms Drive, Suite 200 | Charleston SC | 29492-8144  
Phone: 843 577 2026 Ext. 2254 | Fax: 843 722 2867 | Mobile: 843 518 7779

Website: [www.clawsonandstaubes.com](http://www.clawsonandstaubes.com) | Email: [lgreaver@clawsonandstaubes.com](mailto:lgreaver@clawsonandstaubes.com) | Location: [Map](#)

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200

~~S. J. L. 10~~  
W. Richardson

# 5

NUMBER AND STREET

BUILDING EVALUATION SHEET

NAME

200 S. Cedar

HISTORY	HISTORIC SIGNIFICANCE					
	NATIONAL . . . . .	<input type="checkbox"/>	30			
	STATE . . . . .	<input type="checkbox"/>	20			
	COMMUNITY . . . . .	<input type="checkbox"/>	15			
	UNKNOWN . . . . .	<input type="checkbox"/>	5			
	NONE . . . . .	<input checked="" type="checkbox"/>	0		<input type="checkbox"/>	
ARCHITECTURE	ARCHITECTURAL MERIT					
		EXCELLENT . . . . .	<input type="checkbox"/>	30		
		GOOD . . . . .	<input type="checkbox"/>	15		<input type="checkbox"/>
		FAIR OR NONE . . . . .	<input checked="" type="checkbox"/>	0		
	INCIDENCE IN COMMUNITY					
	UNIQUE . . . . .	<input type="checkbox"/>	10			
	UNUSUAL . . . . .	<input type="checkbox"/>	7			
	SOME . . . . .	<input type="checkbox"/>	3		<input type="checkbox"/>	
	COMMON . . . . .	<input checked="" type="checkbox"/>	0			
AMOUNT OF ALTERATION AND/OR ADDITION(S)						
	NONE OR MINOR . . . . .	<input type="checkbox"/>	5			
	MODERATE . . . . .	<input type="checkbox"/>	3		<input type="checkbox"/>	
	EXTENSIVE OR COMPLETE . . . . .	<input checked="" type="checkbox"/>	0			
QUALITY OF ALTERATION AND/OR ADDITION(S)						
	EXCELLENT (OR NONE) . . . . .	<input type="checkbox"/>	5			
	GOOD . . . . .	<input type="checkbox"/>	3		<input type="checkbox"/>	
	FAIR OR POOR . . . . .	<input checked="" type="checkbox"/>	0	<input type="checkbox"/>	<input type="checkbox"/>	
ENVIRONMENT	CONTRIBUTION TO NEIGHBORHOOD					
	GREAT . . . . .	<input type="checkbox"/>	20			
	MODERATE . . . . .	<input type="checkbox"/>	10		<input type="checkbox"/>	
	MINOR OR NONE . . . . .	<input checked="" type="checkbox"/>	0	<input type="checkbox"/>	<input type="checkbox"/>	
NOTES						

BY  
RPS

DATE  
5-14-79

CHECKED BY

DATE

SUMMERVILLE PRESERVATION STUDY  
WILBUR SMITH AND ASSOCIATES

Identification LDA

1. Number and street 200 CEDAR
2. Common building name EXXON STATION
3. Present owner \_\_\_\_\_
4. Owner's (or agent's) address \_\_\_\_\_
5. Tenant(s) \_\_\_\_\_
6. Present use: Residential \_\_, Social or recreational \_\_,  
Educational \_\_, Administrative, professional, financial \_\_,  
Mercantile , Industrial or manufacturing \_\_, Agricultural \_\_,  
Communications \_\_, Transportation \_\_, National or state  
government \_\_, County or city government \_\_, Military \_\_,  
Medical care \_\_, Religious \_\_, Food service \_\_, Funerary \_\_,  
Non-shelter \_\_, Other \_\_\_\_\_
7. Original use: Unknown \_\_, Same as present \_\_,  
Other \_\_\_\_\_

Historic

1. Date of building \_\_\_\_\_, Factual source \_\_\_\_\_,  
Estimated \_\_\_\_\_, Unknown \_\_\_\_\_.  
Architect or builder \_\_\_\_\_, Unknown \_\_\_\_\_.
3. Original owner or tenant \_\_\_\_\_, Unknown \_\_\_\_\_.
4. Historic significance: None \_\_\_\_\_, Unknown \_\_\_\_\_.  
Associated personage of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_  
Associated event of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_  
Other \_\_\_\_\_
5. Site of building: Unknown \_\_\_\_\_, Original \_\_\_\_\_, Moved \_\_\_\_\_.  
Other \_\_\_\_\_

Description

1. Plot area: Frontage \_\_, Unknown \_\_. Depth \_\_, Unknown \_\_.
2. Building area: Width \_\_, Unknown \_\_. Depth \_\_, Unknown \_\_.
3. Basement or foundation wall material: Unknown \_\_, masonry piers- brick \_\_ or concrete block \_\_; brick /, stucco \_\_, concrete block \_\_, concrete \_\_, other \_\_\_\_\_
4. Exterior wall material: Wood \_\_, brick /, stucco \_\_, stone \_\_, other \_\_\_\_\_
5. Construction: Wood frame \_\_, masonry bearing walls \_\_, other \_\_\_\_\_
6. Roof material: Composition shingles /, wood shingles \_\_, metal \_\_, slate \_\_, tar and gravel \_\_, other \_\_\_\_\_
7. Colour scheme: Walls <sup>WHITE SIDES</sup> ~~MULTI BRICK-FRONT~~ roof BLACK, door(s) WHITE, windows WHITE, trim WHITE, shutters \_\_\_\_\_, other FOUNDATION - GREY
8. Apparent alterations and additions: None \_\_, walls \_\_, windows /, doors /, roof \_\_, chimney \_\_, porch-added \_\_, porch-enclosed \_\_, stairs \_\_, storey \_\_, room(s) \_\_, wing(s) /, other \_\_\_\_\_

9. Condition of building:

	Good	Fair	Poor
Walls	___	/	___
Windows	___	/	___
Door(s)	___	/	___
Roof	___	/	___
Chimney(s)	___	___	___
Porch(s)	___	___	___
Stairs	___	___	___
Other _____	___	___	___

10. Property features: Garage\_\_\_, coach house\_\_\_, stable\_\_\_,  
tool shed , kitchen\_\_\_, office\_\_\_, fence\_\_\_, wall\_\_\_,  
garden feature\_\_\_,  
other\_\_\_\_\_
11. Present status: Inhabited , abandoned\_\_\_,  
other\_\_\_\_\_
12. Surroundings and threat:  
Isolated: Secure\_\_\_, threatened\_\_\_, unknown\_\_\_.  
Part of compatible group: Secure , threatened\_\_\_,  
unknown\_\_\_.  
Part of hostile group: Secure\_\_\_, threatened\_\_\_,  
unknown\_\_\_.
13. Comments and observations:



200 ~~W. Richardson~~  
# 5

206 W. RICHARDSON AVE.  
# 2 NOTABLE-FRONT

NUMBER AND STREET

BUILDING EVALUATION SHEET

206A W. Richardson

NAME

HISTORY	HISTORIC SIGNIFICANCE					
	NATIONAL . . . . .	<input type="checkbox"/>	30			
	STATE . . . . .	<input type="checkbox"/>	20			
	COMMUNITY . . . . .	<input checked="" type="checkbox"/>	15			
	UNKNOWN . . . . .	<input type="checkbox"/>	5			
	NONE . . . . .	<input type="checkbox"/>	0		15	
ARCHITECTURE	ARCHITECTURAL MERIT					
		EXCELLENT . . . . .	<input checked="" type="checkbox"/>	30		
		GOOD . . . . .	<input checked="" type="checkbox"/>	15		15
		FAIR OR NONE . . . . .	<input type="checkbox"/>	0		
	INCIDENCE IN COMMUNITY					
	UNIQUE . . . . .	<input type="checkbox"/>	10			
	UNUSUAL. (roofline) . . . . .	<input checked="" type="checkbox"/>	7			
	SOME . . . . .	<input type="checkbox"/>	3		7	
	COMMON . . . . .	<input type="checkbox"/>	0			
AMOUNT OF ALTERATION AND/OR ADDITION(S)						
	NONE OR MINOR. . . . .	<input checked="" type="checkbox"/>	5			
	MODERATE . . . . .	<input type="checkbox"/>	3			
	EXTENSIVE OR COMPLETE. . . . .	<input type="checkbox"/>	0		5	
QUALITY OF ALTERATION AND/OR ADDITION(S)						
	EXCELLENT (OR NONE) . . . . .	<input checked="" type="checkbox"/>	5			
	GOOD . . . . .	<input type="checkbox"/>	3			
	FAIR OR POOR . . . . .	<input type="checkbox"/>	0		5	
ENVIRONMENT	CONTRIBUTION TO NEIGHBORHOOD					
		GREAT . . . . .	<input checked="" type="checkbox"/>	20		
		MODERATE . . . . .	<input type="checkbox"/>	10		
	MINOR OR NONE. . . . .	<input type="checkbox"/>	0		20	
				20	20	
					67	
NOTES						

BY  
RPS

DATE  
5-11-79

CHECKED BY

DATE

SUMMERVILLE PRESERVATION STUDY  
WILBUR SMITH AND ASSOCIATES

Identification VCB

1. Number and street 206 A + 206 W ~~208~~ W RICHARDSON
2. Common building name <sup>THE</sup> HOUSE SHOP / AUTUMN CO.
3. Present owner \_\_\_\_\_
4. Owner's (or agent's) address \_\_\_\_\_
5. Tenant(s) \_\_\_\_\_
6. Present use: Residential \_\_, Social or recreational \_\_,  
Educational \_\_, Administrative, professional, financial ,  
Mercantile , Industrial or manufacturing \_\_, Agricultural \_\_,  
Communications \_\_, Transportation \_\_, National or state  
government \_\_, County or city government \_\_, Military \_\_,  
Medical care \_\_, Religious \_\_, Food service \_\_, Funerary \_\_,  
Non-shelter \_\_, Other \_\_\_\_\_
7. Original use: Unknown \_\_, Same as present \_\_,  
Other RESIDENCE

Historic

1. Date of building \_\_\_\_\_, Factual source \_\_\_\_\_,  
Estimated \_\_\_\_\_, Unknown \_\_\_\_\_.  
Architect or builder \_\_\_\_\_, Unknown \_\_\_\_\_.
3. Original owner or tenant \_\_\_\_\_, Unknown \_\_\_\_\_.
4. Historic significance: None \_\_\_\_\_, Unknown \_\_\_\_\_.  
Associated personage of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_  
Associated event of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_  
Other \_\_\_\_\_
5. Site of building: Unknown \_\_\_\_\_, Original \_\_\_\_\_, Moved \_\_\_\_\_.  
Other \_\_\_\_\_

Description

1. Plot area: Frontage \_\_, Unknown \_\_. Depth \_\_, Unknown \_\_.
2. Building area: Width \_\_, Unknown \_\_. Depth \_\_, Unknown \_\_.
3. Basement or foundation wall material: Unknown \_\_, masonry piers- brick \_\_ or concrete block \_\_; brick /, stucco \_\_, concrete block \_\_, concrete \_\_, other \_\_\_\_\_
4. Exterior wall material: Wood /, brick \_\_, stucco \_\_, stone \_\_, other \_\_\_\_\_
5. Construction: Wood frame /, masonry bearing walls \_\_, other \_\_\_\_\_
6. Roof material: Composition shingles /, wood shingles \_\_, metal \_\_, slate \_\_, tar and gravel \_\_, other \_\_\_\_\_
7. Colour scheme: Walls CREME, roof RED, door(s) CREME, windows BROWN, trim BROWN, shutters BROWN, other BANASTERS - LIGHTER BROWN
8. Apparent alterations and additions: None \_\_, walls \_\_, windows \_\_, doors \_\_, roof \_\_, chimney \_\_, porch-added \_\_, porch-enclosed \_\_, stairs \_\_, storey \_\_, room(s) \_\_, wing(s) \_\_, other \_\_\_\_\_

9. Condition of building:

	Good	Fair	Poor
Walls	/	—	—
Windows	/	—	—
Door(s)	/	—	—
Roof	/	—	—
Chimney(s)	—	—	—
Porch(s)	/	—	—
Stairs	/	—	—
Other _____	—	—	—

No architectural value  
No. 208 W. RICHARDSON

- 10. Property features: Garage , coach house , stable ,  
tool shed , kitchen , office , fence , wall ,  
garden feature ,  
other \_\_\_\_\_
- 11. Present status: Inhabited , abandoned ,  
other \_\_\_\_\_
- 12. Surroundings and threat:  
Isolated: Secure , threatened , unknown .  
Part of compatible group: Secure , threatened ,  
unknown .  
Part of hostile group: Secure , threatened ,  
unknown .
- 13. Comments and observations:

South Carolina Statewide Survey Site Form  
 State Historic Preservation Office  
 P.O. Box 11669 • Columbia • SC • 29211 • (803) 734-8609



**IDENTIFICATION**

1. Control Number U / 35 / 1390 / 496 0272 2. NR Microfiche index # \_\_\_\_\_  
 county census designated place site #  
 3. Historic name(s): \_\_\_\_\_  
 4. Common name: \_\_\_\_\_  
 5. Address/location: 206 West Richardson Ave.  
 City: Summerville Vicinity of: \_\_\_\_\_ County: Dorchester TMS: 137-07-04-03

6. Ownership: private (1) city (2) county (3) state (4) federal (5) 9. Current use(s): single dwelling (1) multi dwelling (2)  
 7. Category: building (1) site (2) structure (3) object (4) commercial (3) other (0)  
 8. Historic use(s): single dwelling (1) multi dwelling (2) commercial (3) 10. Potential: NR(1) NR historic district (2) archaeological (3)  
 other (0)  
 11. Status/date: listed individually in National Register    /   /    name \_\_\_\_\_

listed as part of NR historic district 5 / 1976 Name of district Summerville Historic District (#496-008)  
 contributing non-contributing  
 listed individually National Historic Landmark    /   /     
 determined eligible—owner objection    /   /    part of NHL district    /   /     
 determined NOT eligible    /   /    DOE process    /   /     
 deferred by review board    /   /    rejected by review board    /   /     
 rejected by Washington    /   /    removed from NR    /   /     
 pending federal nomination    /   /    removed from survey    /   /     
 completed Preliminary Information Sheet (PLS)    /   /    demolished    /   /     
nomination on file/never processed    /   /   

12. Number of contributing properties: \_\_\_\_\_

**PROPERTY DESCRIPTION:** When other (0) is chosen, enter data on reverse side under category 20 or 21.

13. Construction Date 1920ca 14. Alteration Date \_\_\_\_\_ 15. Architectural style or influence \_\_\_\_\_

16. Commercial Form — circle appropriate response(s)

- |                            |                           |                   |                          |
|----------------------------|---------------------------|-------------------|--------------------------|
| A) 2-part commercial block | D) stacked vertical block | G) temple front   | J) Central block w/wings |
| B) 1-part commercial block | E) 2-part vertical block  | H) vault          | K) arcaded block         |
| C) enframed window wall    | F) 3-part vertical block  | I) enframed block | O) other                 |

17. DESCRIPTION: Select as many responses as appropriate.

- |   |  |  |   |
|---|--|--|---|
| <b>A) HISTORIC CORE SHAPE</b><br>rectangular (1)<br>square (2)<br>I (3)<br>T (4)<br>U (5)<br>H (6)<br>octagonal (7)<br>irregular (8)<br>other (0)                         | <b>D) ROOF SHAPE</b><br>gable (end to front) (1)<br>gable (lateral) (2)<br>hip (3)<br>cross gable (4)<br>pyramidal (5)<br>flat (6)<br>truncated hip (7)<br>gambrel (8)<br>mansard (9)<br>salt box (10)<br>jerkinhead (11)<br>gable-on-hip (12)<br>mono-pitch (14)<br>not visible (15)<br>other (0) | <b>F) PORCH ROOF SHAPE</b><br>shed (1)<br>hip (2)<br>gable (3)<br>pedimented gable (4)<br>flat (5)<br>engaged (6)<br>partially engaged (7)<br>gable-on-hip or shed (8)<br>engaged porte cochere (9)<br>other (0) | <b>H) WINDOWS</b><br>single (1)<br>double (2)<br>tripartite (3)<br>grouped (4)<br>decorative (5)<br>display (6)<br>other (0)                                      |
| <b>B) STOREYS</b><br>1 story (1)<br>1 1/2 stories (2)<br>2 stories (3)<br>2 1/2 stories (4)<br>3 stories (5)<br>other (0)   | <b>E) PORCH WIDTH</b><br>entrance bay only (1)<br>over 1 bay, less than full facade (2)<br>full facade (3)<br>facade & left elevation (4)<br>facade & right elevation (5)<br>facade & both elevations (6)<br>other (0)   | <b>G) NUMBER OF CHIMNEYS</b><br>exterior (1)<br>interior end (2)<br>interior (3)<br>central (4)<br>flue (5)<br>double shouldered (6)<br>not visible (7)<br>other (0)   | <b>I) PANE CONFIGURATION</b><br>traceried (1)<br>Queen Anne block-glass (2)<br>Prairie/bungalow/craftsman geometric (3)<br>not visible (4)<br>other (0)<br>2/2, / |
| <b>C) PORCH HEIGHT</b><br>1 story (1)<br>1 story w/deck (2)<br>2 or more stories (3)<br>2 or more with tiers (4)<br>roofed balcony over 1 story hip/shed (5)<br>other (0) |  |  | <b>J) DOORS</b><br>single (1)<br>double (2)<br>transom (3)<br>fanlight (4)<br>sidelights (5)<br>other (0)   |

**K) CONSTRUCTION METHOD**

- masonry (1)
- frame (2)
- log (8)
- steel (4)
- other (0)

**L) EXTERIOR WALLS**

- weatherboard (1)
- beaded weatherboard (2)
- shiplap (3)
- flushboard (4)
- wood shingle (5)
- stucco (6)
- tabby (7)
- brick (8)
- brick veneer (9)
- stone veneer (10)
- cast-stone (11)
- marble (12)
- asphalt roll (13)
- synthetic siding (14)
- asbestos shingle (15)
- pigmented structural glass (16)
- other (0)

**M) PORCH DETAILS**

- chamfered posts (1)
- turned posts (2)
- supports on pedestals (3)
- columns (4)
- posts
- piers (0)
- pillars (7)
- freestanding posts (8)
- balustrade (9)
- apron wall (10)
- turned balusters (11)
- decorative sawn balusters (12)
- slat balusters (13)
- other sawn/turned work (14)
- insect screening (15)
- porte cochere (16)
- other (0)

**N) CHIMNEY MATERIAL**

- brick (1)
- stuccoed brick (2)
- stone (3)
- brick & stone (4)
- other (0)

**O) ROOF MATERIAL**

- composition shingle (1)
- pressed metal shingle (2)
- wood shingle (3)
- slate (4)
- raised seam metal (5)
- other metal (6)
- rolled roofing (7)
- not visible (8)
- tile (9)
- other (0)

**P) FOUNDATION**

- not visible (1)
- brick pier (2)
- brick pier with fill (3)
- brick (4)
- stuccoed masonry (5)
- stone pier (6)
- stone (7)
- concrete block (8)
- slab construction (9)
- basement (10)
- raised basement (11)
- other (0)

**Q) DECORATIVE ELEMENT MATERIAL**

- cast iron (1)
- pressed metal (2)
- terra cotta (3)
- granite (4)
- marble (5)
- cast stone (6)
- brick (7)
- wood (8)
- pigmented glass (9)
- stone (10)
- stucco (11)
- other (0)

**R) INTERIOR FEATURES (list)**

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**18. HISTORIC OUTBUILDINGS AND STRUCTURES:**

- |                          |                   |                  |                   |
|--------------------------|-------------------|------------------|-------------------|
| none (1)                 | tenant house (7)  | crib (13)        | store (19)        |
| none visible (2)         | other house (8)   | smokehouse (14)  | windmill (20)     |
| garage (3)               | office (9)        | slave house (15) | chicken coop (21) |
| garage w/living area (4) | barn (10)         | privy (16)       | silos (22)        |
| shed (5)                 | tobacco barn (11) | well (17)        | washhouse (23)    |
| kitchen (6)              | dairy (12)        | springhouse (18) | root cellar (24)  |
|                          |                   |                  | other (0)         |

19. SURROUNDINGS: residential (1) residential/commercial (2) commercial (3) rural (4) rural community (5) industrial (6) other (0)

20. ADDITIONAL DESCRIPTIVE COMMENTS: Rear gable wing, left elevation. Cottage: 2 X 2 bays, lateral gable roof with full-facade shed porch with exposed rafter ends, 6/6 windows, simple entry.

21. ALTERATIONS Small addition in rear ell, right elevation.

**HISTORICAL INFORMATION**

22. Theme(s): \_\_\_\_\_ 23. Period(s): \_\_\_\_\_ 24. Important persons: \_\_\_\_\_

25. Architect(s): \_\_\_\_\_ Source: \_\_\_\_\_

26. Builder(s) \_\_\_\_\_ Source: \_\_\_\_\_

27. Historical data \_\_\_\_\_

28. Informant/Bibliography \_\_\_\_\_

**PROGRAM MANAGEMENT**

29. Quadrangle name: Summerville 30. Photographs: prints (1) slides (2) negatives (3)

31. Other documentation: survey back-up files (1) National Register files (2) tax act files (3) grant files (4) state historical marker files (5) environmental review files (6) HABS/HAER (7) SCIAA (8) other (0) # \_\_\_\_\_

32. Recorder name/firm Preservation Consultants: SF 33. Date recorded 3/11/1996



206 W. Richardson  
#4 Suppartine (REAR)

NUMBER AND STREET

BUILDING EVALUATION SHEET

NAME

~~370~~ W. Richardson (Rear)  
206

HISTORY	HISTORIC SIGNIFICANCE					
	NATIONAL . . . . .	<input type="checkbox"/>	30			
	STATE . . . . .	<input type="checkbox"/>	20			
	COMMUNITY . . . . .	<input type="checkbox"/>	15			
	UNKNOWN . . . . .	<input checked="" type="checkbox"/>	5			
	NONE . . . . .	<input type="checkbox"/>	0		5	
ARCHITECTURE	ARCHITECTURAL MERIT					
		EXCELLENT . . . . .	<input type="checkbox"/>	30		
		GOOD . . . . .	<input type="checkbox"/>	15		
		FAIR OR NONE . . . . .	<input checked="" type="checkbox"/>	0	0	
	INCIDENCE IN COMMUNITY					
	UNIQUE . . . . .	<input type="checkbox"/>	10			
	UNUSUAL . . . . .	<input type="checkbox"/>	7			
	SOME . . . . .	<input type="checkbox"/>	3			
	COMMON . . . . .	<input checked="" type="checkbox"/>	0	0		
AMOUNT OF ALTERATION AND/OR ADDITION(S)						
	NONE OR MINOR . . . . .	<input checked="" type="checkbox"/>	5			
	MODERATE . . . . .	<input type="checkbox"/>	3			
	EXTENSIVE OR COMPLETE . . . . .	<input type="checkbox"/>	0	5		
QUALITY OF ALTERATION AND/OR ADDITION(S)						
	EXCELLENT (OR NONE) . . . . .	<input checked="" type="checkbox"/>	5			
	GOOD . . . . .	<input type="checkbox"/>	3			
	FAIR OR POOR . . . . .	<input type="checkbox"/>	0	5	10	
ENVIRONMENT	CONTRIBUTION TO NEIGHBORHOOD					
	GREAT . . . . .	<input type="checkbox"/>	20			
	MODERATE . . . . .	<input checked="" type="checkbox"/>	10			
	MINOR OR NONE . . . . .	<input type="checkbox"/>	0	10	10	
NOTES						

BY  
RFS

DATE  
5-11-79

CHECKED BY

DATE

SUMMERVILLE PRESERVATION STUDY  
WILBUR SMITH AND ASSOCIATES

Identification LDA

1. Number and street 11 RICHARDSON
2. Common building name 1111 1111 1111
3. Present owner \_\_\_\_\_
4. Owner's (or agent's) address \_\_\_\_\_
5. Tenant(s) \_\_\_\_\_
6. Present use: Residential , Social or recreational \_\_\_\_\_,  
Educational \_\_\_\_\_, Administrative, professional, financial \_\_\_\_\_,  
Mercantile \_\_\_\_\_, Industrial or manufacturing \_\_\_\_\_, Agricultural \_\_\_\_\_,  
Communications \_\_\_\_\_, Transportation \_\_\_\_\_, National or state  
government \_\_\_\_\_, County or city government \_\_\_\_\_, Military \_\_\_\_\_,  
Medical care \_\_\_\_\_, Religious \_\_\_\_\_, Food service \_\_\_\_\_, Funerary \_\_\_\_\_,  
Non-shelter \_\_\_\_\_, Other \_\_\_\_\_
7. Original use: Unknown \_\_\_\_\_, Same as present \_\_\_\_\_,  
Other \_\_\_\_\_

Historic

1. Date of building \_\_\_\_\_, Factual source \_\_\_\_\_,  
Estimated \_\_\_\_\_, Unknown \_\_\_\_\_.  
Architect or builder \_\_\_\_\_, Unknown \_\_\_\_\_.
3. Original owner or tenant \_\_\_\_\_, Unknown \_\_\_\_\_.
4. Historic significance: None \_\_\_\_\_, Unknown \_\_\_\_\_.  
Associated personage of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_  
Associated event of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_  
Other \_\_\_\_\_
5. Site of building: Unknown \_\_\_\_\_, Original \_\_\_\_\_, Moved \_\_\_\_\_.  
Other \_\_\_\_\_

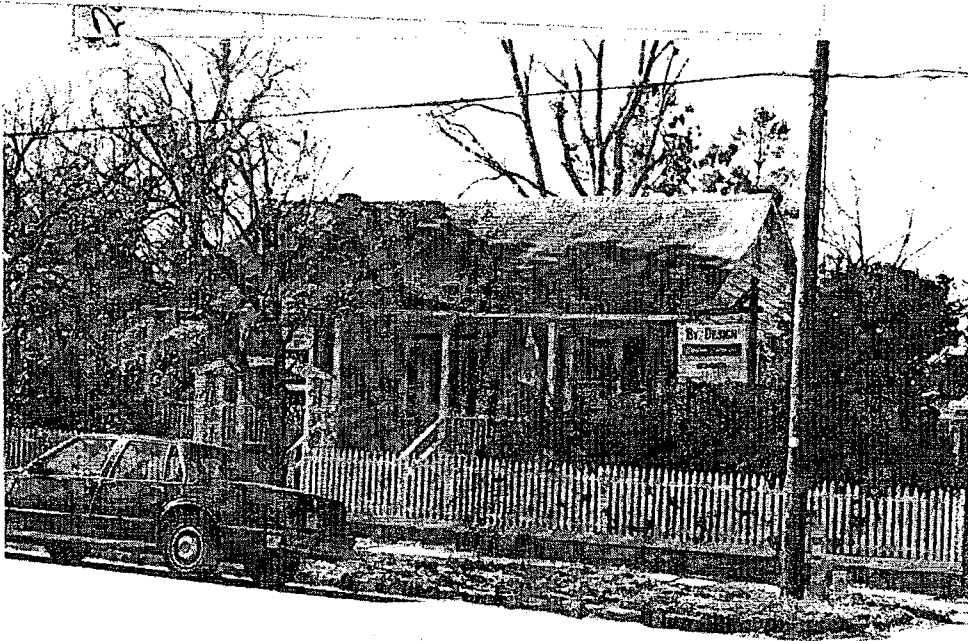
Description

1. Plot area: Frontage \_\_, Unknown \_\_. Depth \_\_, Unknown \_\_.
2. Building area: Width \_\_, Unknown \_\_. Depth \_\_, Unknown \_\_.
3. Basement or foundation wall material: Unknown \_\_, masonry piers- brick \_\_ or concrete block \_\_; brick /, stucco \_\_, concrete block \_\_, concrete \_\_, other \_\_\_\_\_
4. Exterior wall material: Wood /, brick \_\_, stucco \_\_, stone \_\_, other \_\_\_\_\_
5. Construction: Wood frame /, masonry bearing walls \_\_, other \_\_\_\_\_
6. Roof material: Composition shingles /, wood shingles \_\_, metal \_\_, slate \_\_, tar and gravel \_\_, other \_\_\_\_\_
7. Colour scheme: Walls LT GREEN, roof RED, door(s) BLACK, windows LT GREEN, trim LT GREEN, shutters \_\_\_\_\_, other \_\_\_\_\_
8. Apparent alterations and additions: None \_\_, walls \_\_, windows \_\_, doors \_\_, roof \_\_, chimney \_\_, porch-added \_\_, porch-enclosed \_\_, stairs \_\_, storey \_\_, room(s) \_\_, wing(s) \_\_, other \_\_\_\_\_

9. Condition of building:

	Good	Fair	Poor
Walls	/	—	—
Windows	/	—	—
Door(s)	/	—	—
Roof	—	/	—
Chimney(s)	—	—	—
Porch(s)	/	—	—
Stairs	/	—	—
Other _____	—	—	—

10. Property features: Garage\_\_\_, coach house\_\_\_, stable\_\_\_,  
tool shed\_\_\_, kitchen\_\_\_, office\_\_\_, fence\_\_\_, wall\_\_\_,  
garden feature\_\_\_,  
other\_\_\_\_\_
11. Present status: Inhabited\_\_\_/\_\_\_, abandoned\_\_\_,  
other\_\_\_\_\_
12. Surroundings and threat:  
Isolated: Secure\_\_\_, threatened\_\_\_, unknown\_\_\_.  
Part of compatible group: Secure\_\_\_/\_\_\_, threatened\_\_\_,  
unknown\_\_\_.  
Part of hostile group: Secure\_\_\_, threatened\_\_\_,  
unknown\_\_\_.
13. Comments and observations:





210 W. RICHARDSON AVE  
#2 NOTABLE

NUMBER AND STREET  
NAME

BUILDING EVALUATION SHEET  
210 W. Richardson

HISTORY	HISTORIC SIGNIFICANCE					
	NATIONAL . . . . .	<input type="checkbox"/>	30			
	STATE . . . . .	<input type="checkbox"/>	20			
	COMMUNITY . . . . .	<input checked="" type="checkbox"/>	15			
	UNKNOWN . . . . .	<input type="checkbox"/>	5			
	NONE . . . . .	<input type="checkbox"/>	0		15	
ARCHITECTURE	ARCHITECTURAL MERIT					
		EXCELLENT . . . . .	<input type="checkbox"/>	30		
		GOOD . . . . .	<input checked="" type="checkbox"/>	15		15
		FAIR OR NONE . . . . .	<input type="checkbox"/>	0		
	INCIDENCE IN COMMUNITY					
	UNIQUE . . . . .	<input type="checkbox"/>	10			
	UNUSUAL . . . . .	<input checked="" type="checkbox"/>	7			
	SOME . . . . .	<input type="checkbox"/>	3			
	COMMON . . . . .	<input type="checkbox"/>	0		7	
AMOUNT OF ALTERATION AND/OR ADDITION(S)						
	NONE OR MINOR . . . . .	<input checked="" type="checkbox"/>	5			
	MODERATE . . . . .	<input type="checkbox"/>	3			
	EXTENSIVE OR COMPLETE . . . . .	<input type="checkbox"/>	0		5	
QUALITY OF ALTERATION AND/OR ADDITION(S)						
	EXCELLENT (OR NONE) . . . . .	<input checked="" type="checkbox"/>	5			
	GOOD . . . . .	<input type="checkbox"/>	3			
	FAIR OR POOR . . . . .	<input type="checkbox"/>	0		5	
					32	
ENVIRONMENT	CONTRIBUTION TO NEIGHBORHOOD					
	GREAT . . . . .	<input checked="" type="checkbox"/>	20			
	MODERATE . . . . .	<input type="checkbox"/>	10			
	MINOR OR NONE . . . . .	<input type="checkbox"/>	0		20	
					20	
					67	
NOTES						

BY  
RPS

DATE  
5-11-79

CHECKED BY

DATE

SUMMERVILLE PRESERVATION STUDY  
WILBUR SMITH AND ASSOCIATES

Identification LOA

1. Number and street 210 W RICHARDSON
2. Common building name \_\_\_\_\_
3. Present owner \_\_\_\_\_
4. Owner's (or agent's) address \_\_\_\_\_
5. Tenant(s) \_\_\_\_\_
6. Present use: Residential /, Social or recreational \_\_\_\_,  
Educational \_\_\_\_, Administrative, professional, financial \_\_\_\_,  
Mercantile \_\_\_\_, Industrial or manufacturing \_\_\_\_, Agricultural \_\_\_\_,  
Communications \_\_\_\_, Transportation \_\_\_\_, National or state  
government \_\_\_\_, County or city government \_\_\_\_, Military \_\_\_\_,  
Medical care \_\_\_\_, Religious \_\_\_\_, Food service \_\_\_\_, Funerary \_\_\_\_,  
Non-shelter \_\_\_\_, Other \_\_\_\_\_
7. Original use: Unknown \_\_\_\_, Same as present /,  
Other \_\_\_\_\_

Historic

1. Date of building \_\_\_\_\_, Factual source \_\_\_\_\_,  
Estimated \_\_\_\_\_, Unknown \_\_\_\_\_.  
Architect or builder \_\_\_\_\_, Unknown \_\_\_\_\_,
3. Original owner or tenant \_\_\_\_\_, Unknown \_\_\_\_\_,
4. Historic significance: None \_\_\_\_\_, Unknown \_\_\_\_\_.  
Associated personage of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_  
Associated event of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_  
Other \_\_\_\_\_
5. Site of building: Unknown \_\_\_\_\_, Original \_\_\_\_\_, Moved \_\_\_\_\_.  
Other \_\_\_\_\_

Description

1. Plot area: Frontage \_\_, Unknown \_\_. Depth \_\_, Unknown \_\_.
2. Building area: Width \_\_, Unknown \_\_. Depth \_\_, Unknown \_\_.
3. Basement or foundation wall material: Unknown \_\_, masonry piers- brick \_\_ or concrete block \_\_; brick /, stucco \_\_, concrete block \_\_, concrete \_\_, other \_\_\_\_\_
4. Exterior wall material: Wood /, brick \_\_, stucco \_\_, stone \_\_, other \_\_\_\_\_
5. Construction: Wood frame /, masonry bearing walls \_\_, other \_\_\_\_\_
6. Roof material: Composition shingles \_\_, wood shingles \_\_, metal /, slate \_\_, tar and gravel \_\_, other \_\_\_\_\_
7. Colour scheme: Walls LT GREEN, roof GREY, door(s) DK GREEN, windows DK GREEN, trim SAND, shutters DK GREEN, other \_\_\_\_\_
8. Apparent alterations and additions: None \_\_, walls \_\_, windows \_\_, doors \_\_, roof \_\_, chimney \_\_, porch-added \_\_, porch-enclosed \_\_, stairs \_\_, storey \_\_, room(s) \_\_, wing(s) \_\_, other \_\_\_\_\_
9. Condition of building:

	Good	Fair	Poor
Walls	/	—	—
Windows	/	—	—
Door(s)	—	/	—
Roof	—	—	/
Chimney(s)	—	—	—
Porch(s)	—	/	—
Stairs	—	/	—
Other _____	—	—	—

10. Property features: Garage \_\_, coach house \_\_, stable \_\_,  
tool shed \_\_, kitchen \_\_, office \_\_, fence , wall \_\_,  
garden feature \_\_,

other \_\_\_\_\_

11. Present status: Inhabitated , abandoned \_\_,

other \_\_\_\_\_

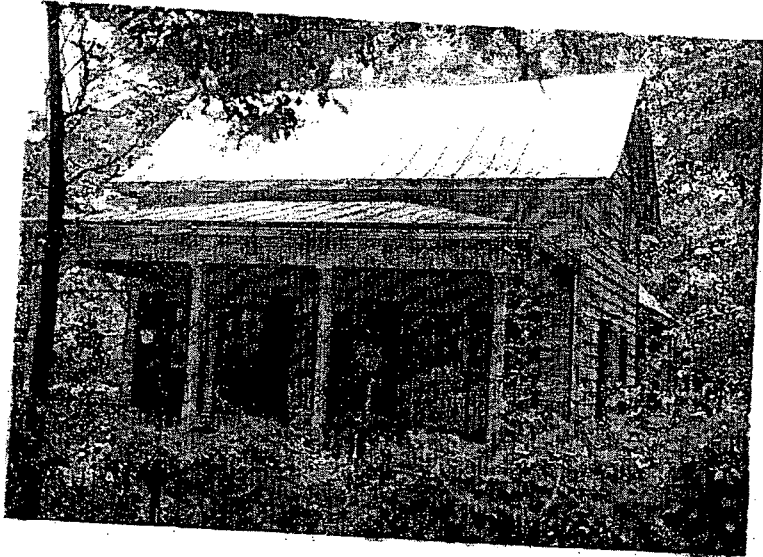
12. Surroundings and threat:

Isolated: Secure \_\_, threatened \_\_, unknown \_\_.

Part of compatible group: Secure , threatened \_\_,  
unknown \_\_.

Part of hostile group: Secure \_\_, threatened \_\_,  
unknown \_\_.

13. Comments and observations:



210 W Richardson - Unit B

demo permit issued 7/31/12

213 W. 2ND S. ST.  
# 4 SUPPORTIVE

NUMBER AND STREET

BUILDING EVALUATION SHEET

NAME

213 W. 2ND South St.

HISTORY	HISTORIC SIGNIFICANCE					
	NATIONAL . . . . .	<input type="checkbox"/>	30			
	STATE . . . . .	<input type="checkbox"/>	20			
	COMMUNITY . . . . .	<input type="checkbox"/>	15			
	UNKNOWN . . . . .	<input type="checkbox"/>	5			
	NONE . . . . .	<input checked="" type="checkbox"/>	0		0	
ARCHITECTURE	ARCHITECTURAL MERIT					
		EXCELLENT . . . . .	<input type="checkbox"/>	30		
		GOOD . . . . .	<input type="checkbox"/>	15		0
		FAIR OR NONE . . . . .	<input checked="" type="checkbox"/>	0		
	INCIDENCE IN COMMUNITY					
	UNIQUE . . . . .	<input type="checkbox"/>	10			
	UNUSUAL . . . . .	<input type="checkbox"/>	7			
	SOME . . . . .	<input type="checkbox"/>	3		0	
	COMMON . . . . .	<input checked="" type="checkbox"/>	0			
AMOUNT OF ALTERATION AND/OR ADDITION(S)						
	NONE OR MINOR . . . . .	<input checked="" type="checkbox"/>	5			
	MODERATE . . . . .	<input type="checkbox"/>	3		5	
	EXTENSIVE OR COMPLETE . . . . .	<input type="checkbox"/>	0			
QUALITY OF ALTERATION AND/OR ADDITION(S)						
	EXCELLENT (OR NONE) . . . . .	<input checked="" type="checkbox"/>	5			
	GOOD . . . . .	<input type="checkbox"/>	3		5	
	FAIR OR POOR . . . . .	<input type="checkbox"/>	0		10	
ENVIRONMENT	CONTRIBUTION TO NEIGHBORHOOD					
		GREAT . . . . .	<input type="checkbox"/>	20		
	MODERATE . . . . .	<input checked="" type="checkbox"/>	10		10	
	MINOR OR NONE . . . . .	<input type="checkbox"/>	0		20	
NOTES						

BY

RSB

DATE

7-26-79

CHECKED BY

DATE

Roll 6-9

SUMMERVILLE PRESERVATION STUDY  
WILBUR SMITH AND ASSOCIATES

Identification LDA

1. Number and street 213 W. 2ND South
2. Common building name (Newman Building 1921)
3. Present owner \_\_\_\_\_
4. Owner's (or agent's) address \_\_\_\_\_
5. Tenant(s) \_\_\_\_\_
6. Present use: Residential , Social or recreational \_\_\_\_,  
Educational \_\_\_\_, Administrative, professional, financial \_\_\_\_,  
Mercantile \_\_\_\_, Industrial or manufacturing \_\_\_\_, Agricultural \_\_\_\_,  
Communications \_\_\_\_, Transportation \_\_\_\_, National or state  
government \_\_\_\_, County or city government \_\_\_\_, Military \_\_\_\_,  
Medical care \_\_\_\_, Religious \_\_\_\_, Food service \_\_\_\_, Funerary \_\_\_\_,  
Non-shelter \_\_\_\_, Other \_\_\_\_\_
7. Original use: Unknown \_\_\_\_, Same as present ,  
Other \_\_\_\_\_

Historic

1. Date of building \_\_\_\_\_, Factual source \_\_\_\_\_,  
Estimated \_\_\_\_\_, Unknown \_\_\_\_\_.  
Architect or builder \_\_\_\_\_, Unknown \_\_\_\_\_,
3. Original owner or tenant \_\_\_\_\_, Unknown \_\_\_\_\_,
4. Historic significance: None \_\_\_\_\_, Unknown \_\_\_\_\_.  
Associated personage of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_  
Associated event of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_  
Other \_\_\_\_\_
5. Site of building: Unknown \_\_\_\_\_, Original \_\_\_\_\_, Moved \_\_\_\_\_.  
Other \_\_\_\_\_

Description

1. Plot area: Frontage \_\_, Unknown \_\_. Depth \_\_, Unknown \_\_.
2. Building area: Width \_\_, Unknown \_\_. Depth \_\_, Unknown \_\_.
3. Basement or foundation wall material: Unknown \_\_, masonry piers- brick \_\_ or concrete block \_\_; brick , stucco \_\_, concrete block \_\_, concrete \_\_, other \_\_\_\_\_
4. Exterior wall material: Wood , brick \_\_, stucco \_\_, stone \_\_, other \_\_\_\_\_
5. Construction: Wood frame , masonry bearing walls \_\_, other \_\_\_\_\_
6. Roof material: Composition shingles , wood shingles \_\_, metal \_\_, slate \_\_, tar and gravel \_\_, other \_\_\_\_\_
7. Colour scheme: Walls LT GREEN, roof GREY, door(s) GREEN / BLACK, windows DK GREEN, trim DK GREEN, shutters \_\_\_\_\_, other \_\_\_\_\_
8. Apparent alterations and additions: None \_\_, walls \_\_, windows \_\_, doors \_\_, roof \_\_, chimney \_\_, porch-added \_\_, porch-enclosed \_\_, stairs \_\_, storey \_\_, room(s) \_\_, wing(s) \_\_, other \_\_\_\_\_

9. Condition of building:

	Good	Fair	Poor
Walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Door(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chimney(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Porch(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Stairs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Property features: Garage\_\_\_, coach house\_\_\_, stable\_\_\_,  
tool shed /, kitchen\_\_\_, office\_\_\_, fence /, wall\_\_\_,  
garden feature\_\_\_,  
other\_\_\_\_\_
11. Present status: Inhabitated /, abandoned\_\_\_,  
other\_\_\_\_\_
12. Surroundings and threat:  
Isolated: Secure\_\_\_, threatened\_\_\_, unknown\_\_\_.  
Part of compatible group: Secure /, threatened\_\_\_,  
unknown\_\_\_.  
Part of hostile group: Secure\_\_\_, threatened\_\_\_,  
unknown\_\_\_.
13. Comments and observations:



Historic

1. Date of building \_\_\_\_\_, Factual source \_\_\_\_\_,  
Estimated \_\_\_\_\_? Unknown \_\_\_\_\_.
2. Architect or builder \_\_\_\_\_, Unknown \_\_\_\_\_.
3. Original owner or tenant \_\_\_\_\_, Unknown \_\_\_\_\_.
4. Historical significance  
None \_\_\_\_\_, Unknown \_\_\_\_\_.  
Associated personage of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_
- Associated event of historical importance  
Local \_\_\_\_\_, State \_\_\_\_\_, National \_\_\_\_\_.  
Name \_\_\_\_\_
- Other \_\_\_\_\_
5. Site of building: Unknown \_\_\_\_\_, Original \_\_\_\_\_,  
Moved \_\_\_\_\_, Other \_\_\_\_\_

Description

1. Plot area: Frontage \_\_\_\_\_, Unknown \_\_\_\_\_.  
Depth \_\_\_\_\_, Unknown \_\_\_\_\_.
2. Building area: Width \_\_\_\_\_, Unknown \_\_\_\_\_  
Depth \_\_\_\_\_, Unknown \_\_\_\_\_
3. Basement or foundation wall material:  
Unknown \_\_\_\_\_, masonry piers \_\_\_\_\_, brick ,  
stucco \_\_\_\_\_, concrete block \_\_\_\_\_, concrete \_\_\_\_\_, other \_\_\_\_\_.
4. Exterior wall material:  
Wood , brick \_\_\_\_\_, stucco \_\_\_\_\_, stone \_\_\_\_\_, other \_\_\_\_\_.
5. Construction:  
Wood frame , masonry bearing walls \_\_\_\_\_, other \_\_\_\_\_.
6. Roof material:  
Composition shingles , wood shingles \_\_\_\_\_, metal \_\_\_\_\_,  
slate \_\_\_\_\_, tar and gravel \_\_\_\_\_, other \_\_\_\_\_.
7. Color scheme:  
Walls light green, roof grey,  
door(s) green/black, windows dark green,  
trim dark green, shutters \_\_\_\_\_,  
other \_\_\_\_\_.
8. Apparent alterations and additions  
None \_\_\_\_\_, walls \_\_\_\_\_, windows \_\_\_\_\_, doors \_\_\_\_\_,  
roof \_\_\_\_\_, chimney(s) \_\_\_\_\_, porch(es) \_\_\_\_\_, stair(s) \_\_\_\_\_,  
storey added \_\_\_\_\_, other \_\_\_\_\_.

9. Condition of building:

	Good	Fair	Poor
Walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Door(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chimney(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Porch(es)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Stairs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Property features

Garage \_\_\_\_\_, coach house \_\_\_\_\_, stable \_\_\_\_\_,  
kitchen \_\_\_\_\_, office \_\_\_\_\_, fence , garden feature \_\_\_\_\_,  
other Shed.

11. Present status: Inhabited \_\_\_\_\_, abandoned \_\_\_\_\_,  
other \_\_\_\_\_.

12. Surroundings and threat:

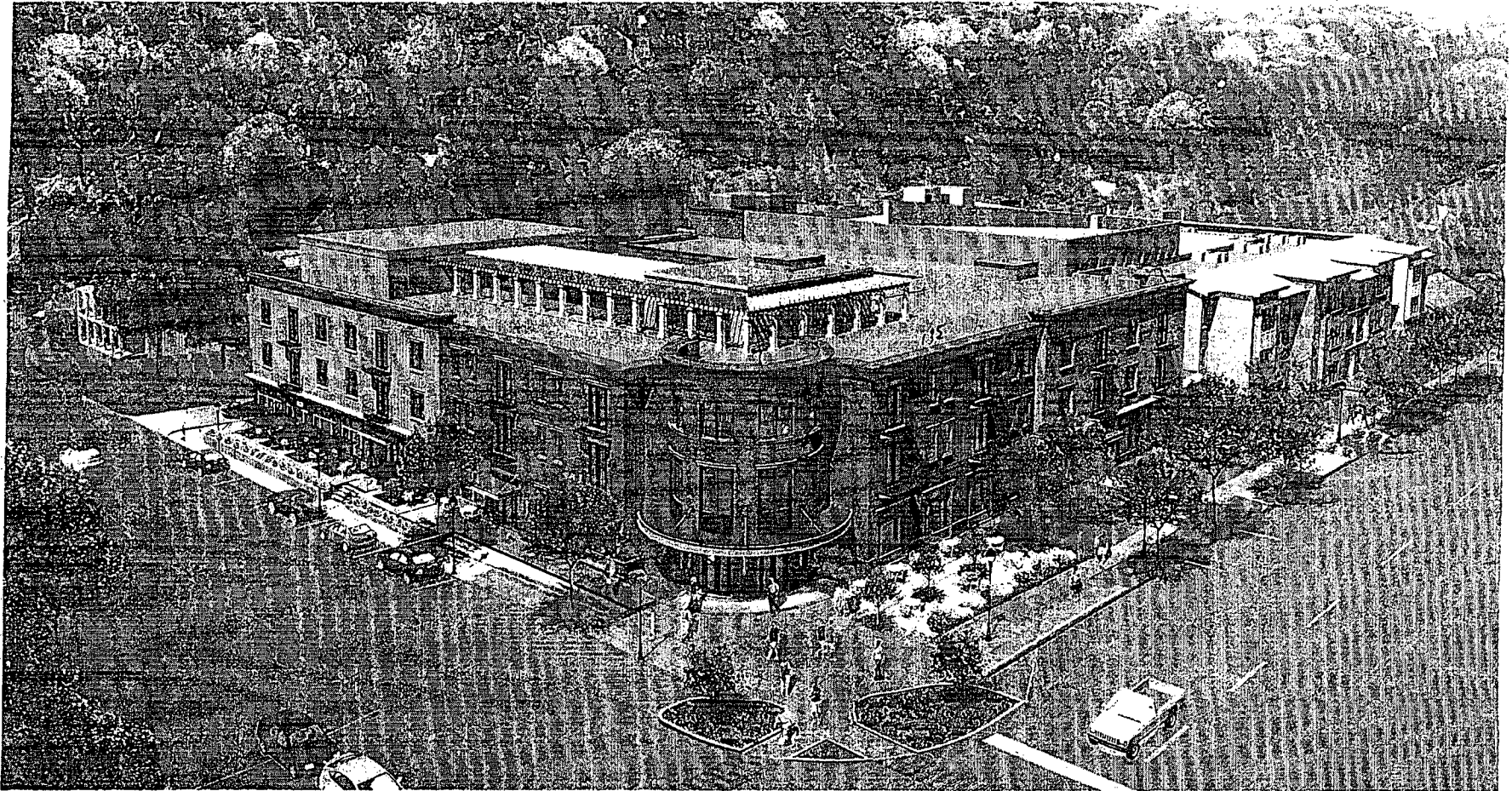
Isolated: Secure \_\_\_\_\_, threatened \_\_\_\_\_, unknown \_\_\_\_\_

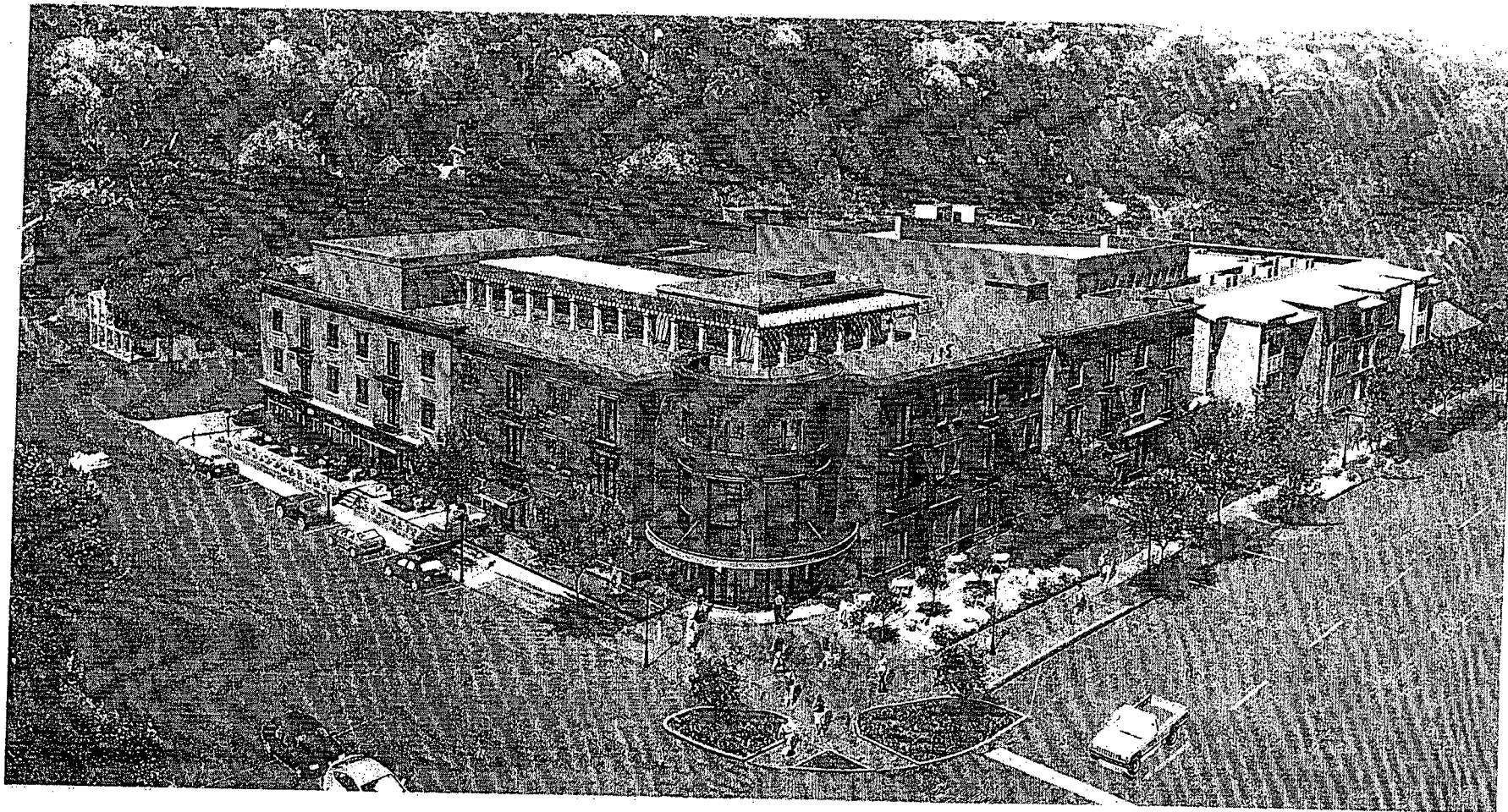
Part of compatible group: Secure , threateried \_\_\_\_\_,  
unknown \_\_\_\_\_.

Part of hostile group: Secure \_\_\_\_\_, threatened \_\_\_\_\_,  
unknown \_\_\_\_\_.



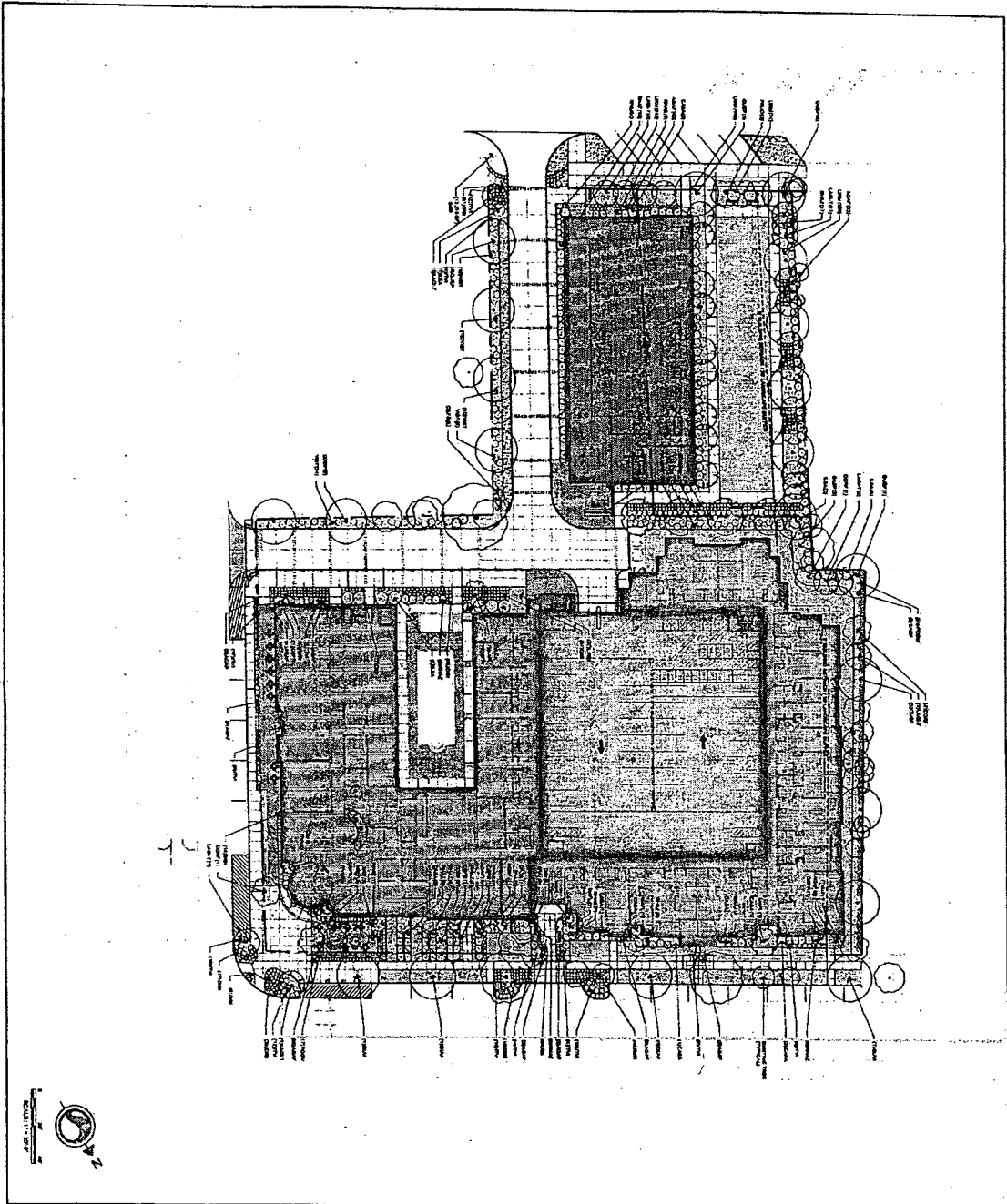
213 W. 2nd St.  
# 4 SUPPORT






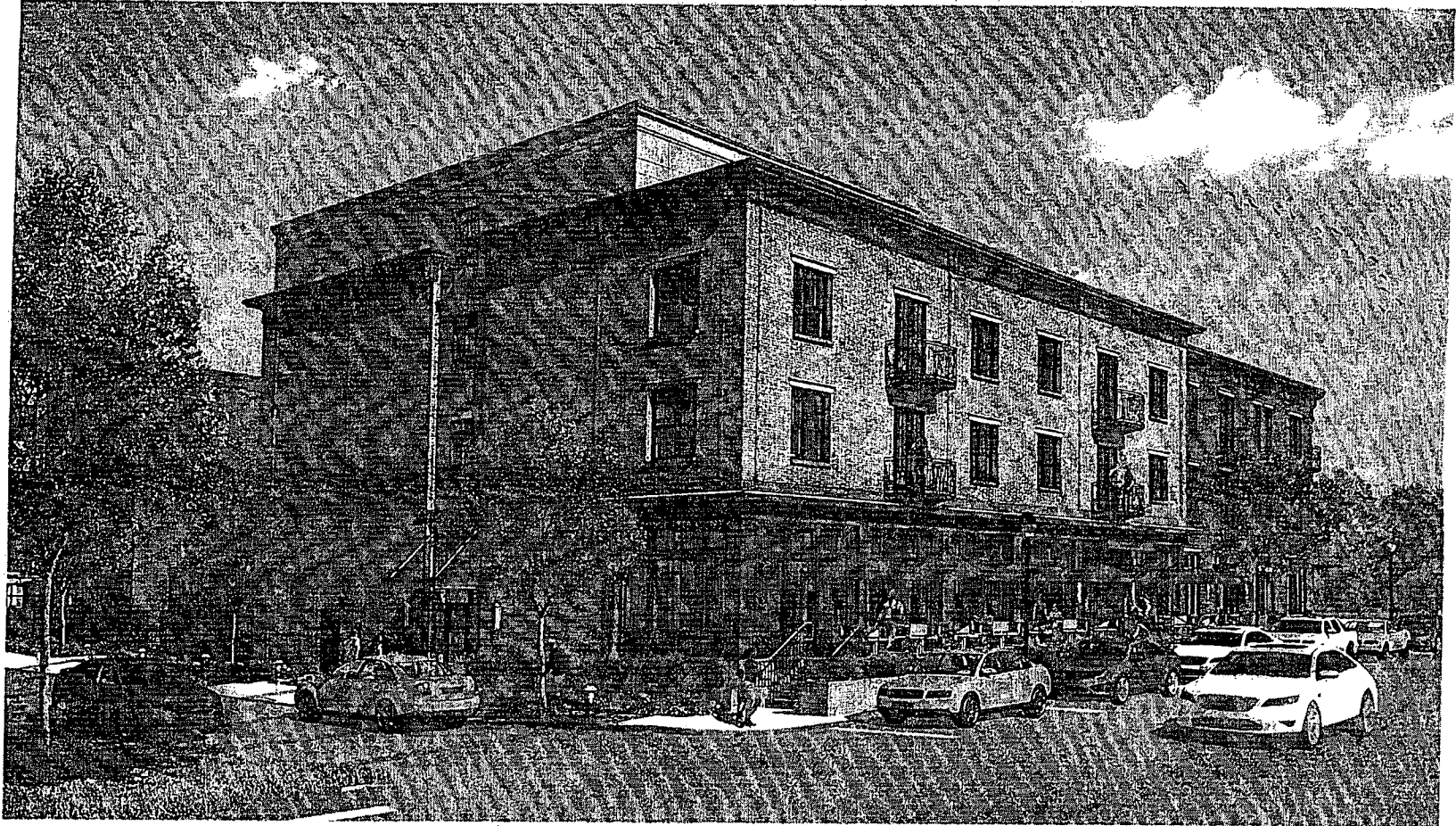




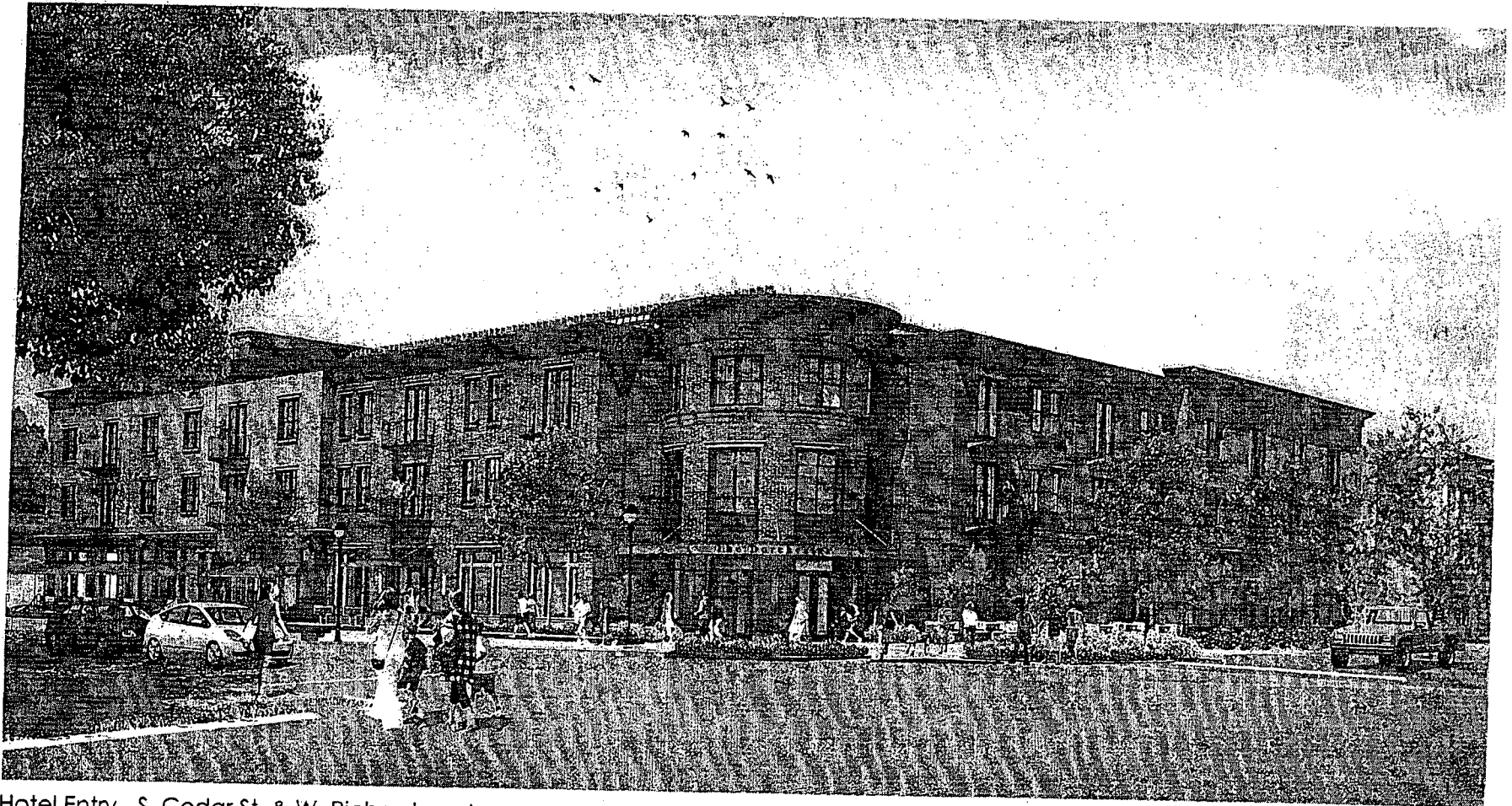


LEGEND	
<p>GENERAL NOTES</p> <ol style="list-style-type: none"> <li>1. SEE FOUNDATION PLAN FOR FOUNDATION DETAILS.</li> <li>2. SEE STRUCTURAL PLAN FOR STRUCTURAL DETAILS.</li> <li>3. SEE MECHANICAL PLAN FOR MECHANICAL DETAILS.</li> <li>4. SEE ELECTRICAL PLAN FOR ELECTRICAL DETAILS.</li> <li>5. SEE PLUMBING PLAN FOR PLUMBING DETAILS.</li> <li>6. SEE FINISHES SCHEDULE FOR FINISHES.</li> <li>7. SEE SCHEDULES FOR MATERIALS AND FINISHES.</li> <li>8. SEE SPECIFICATIONS FOR MATERIALS AND FINISHES.</li> <li>9. SEE NOTES FOR GENERAL NOTES.</li> <li>10. SEE NOTES FOR GENERAL NOTES.</li> <li>11. SEE NOTES FOR GENERAL NOTES.</li> <li>12. SEE NOTES FOR GENERAL NOTES.</li> <li>13. SEE NOTES FOR GENERAL NOTES.</li> <li>14. SEE NOTES FOR GENERAL NOTES.</li> <li>15. SEE NOTES FOR GENERAL NOTES.</li> <li>16. SEE NOTES FOR GENERAL NOTES.</li> <li>17. SEE NOTES FOR GENERAL NOTES.</li> <li>18. SEE NOTES FOR GENERAL NOTES.</li> <li>19. SEE NOTES FOR GENERAL NOTES.</li> <li>20. SEE NOTES FOR GENERAL NOTES.</li> </ol>	<p style="text-align: center;"><b>THE DORCHESTER</b></p> <p style="text-align: center;">SUMMERVILLE, S.C.</p>
<p>KEY PLAN</p> <p>PLANNING PLAN</p> <p>DATE: 11/11/11</p> <p>SCALE: 1/8" = 1'-0"</p> <p style="text-align: right;"><b>L201</b></p>	<p style="text-align: center;"><b>PRELIMINARY NOT FOR CONSTRUCTION</b></p>
 <p><b>Stantec</b></p> <p>400 E. ANNE STREET, SUITE 200 SUMMERVILLE, SOUTH CAROLINA 29586 803.547.1000 www.stantec.com</p>	





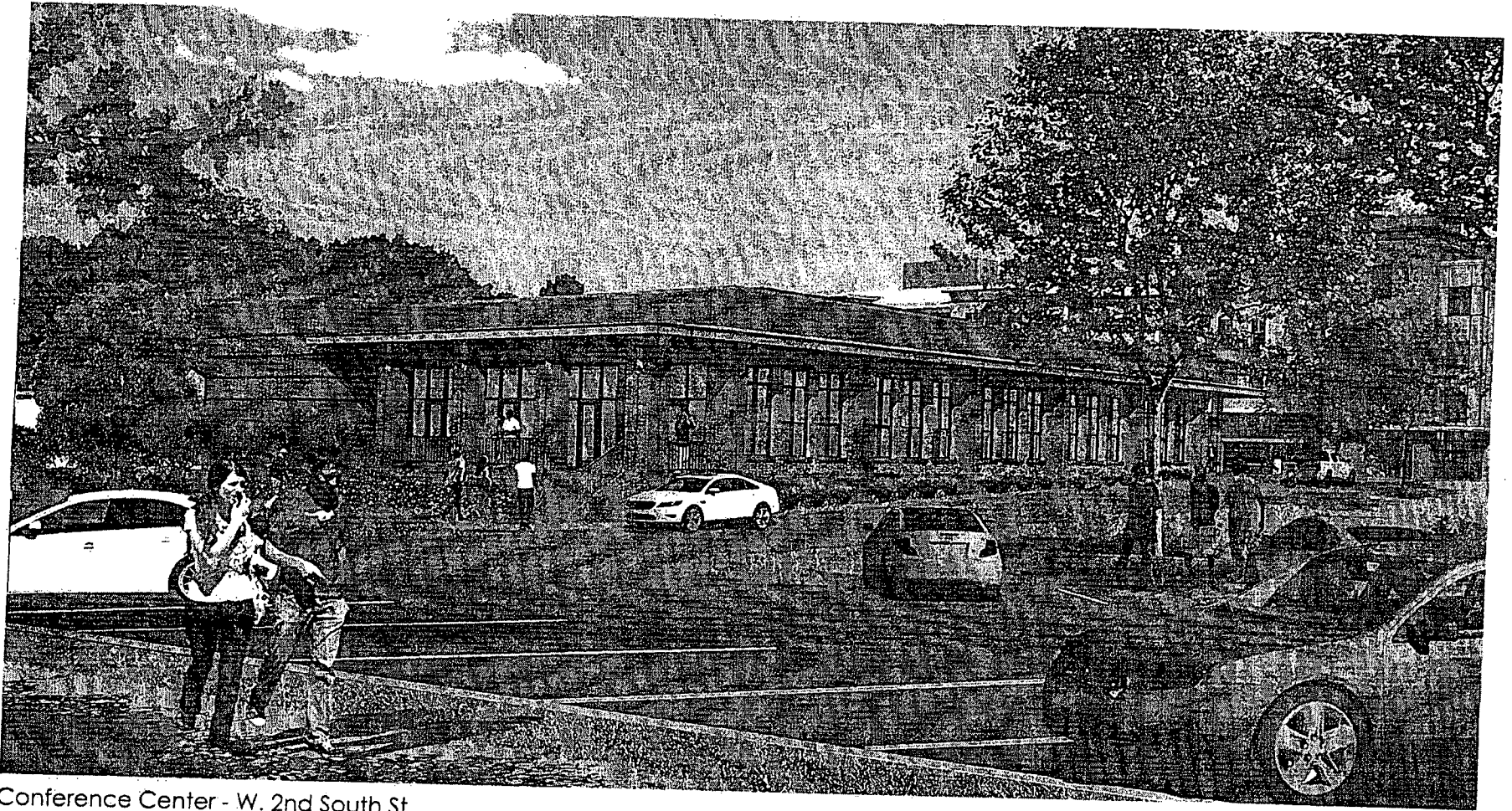
Restaurant & Hotel - S. Cedar St.



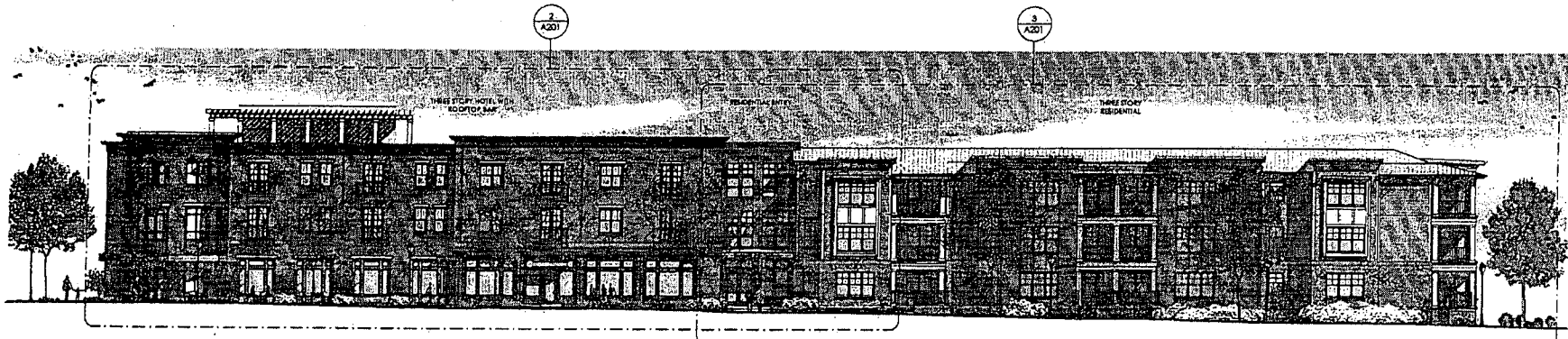
Hotel Entry - S. Cedar St. & W. Richardson Ave.



Residential - W. Richardson Ave.

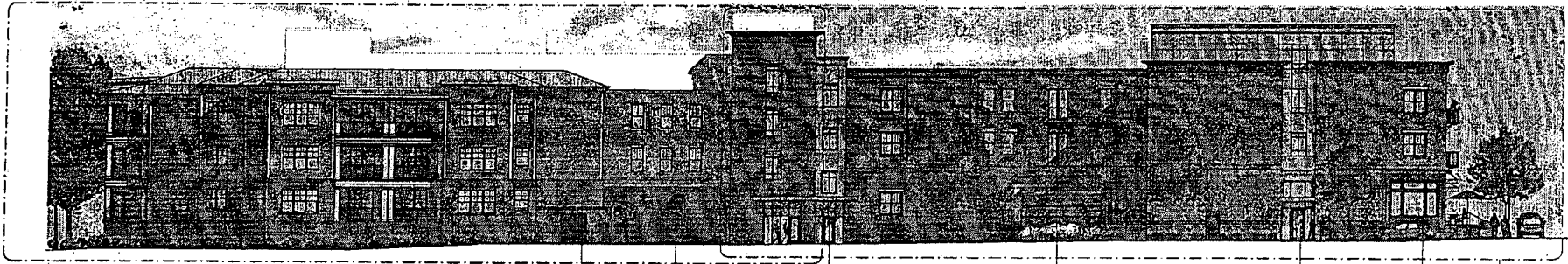


Conference Center - W. 2nd South St.



East Elevation (W. Richardson Ave.) - Overall  
NOT TO SCALE

1071



West Elevation - Overall  
NOT TO SCALE

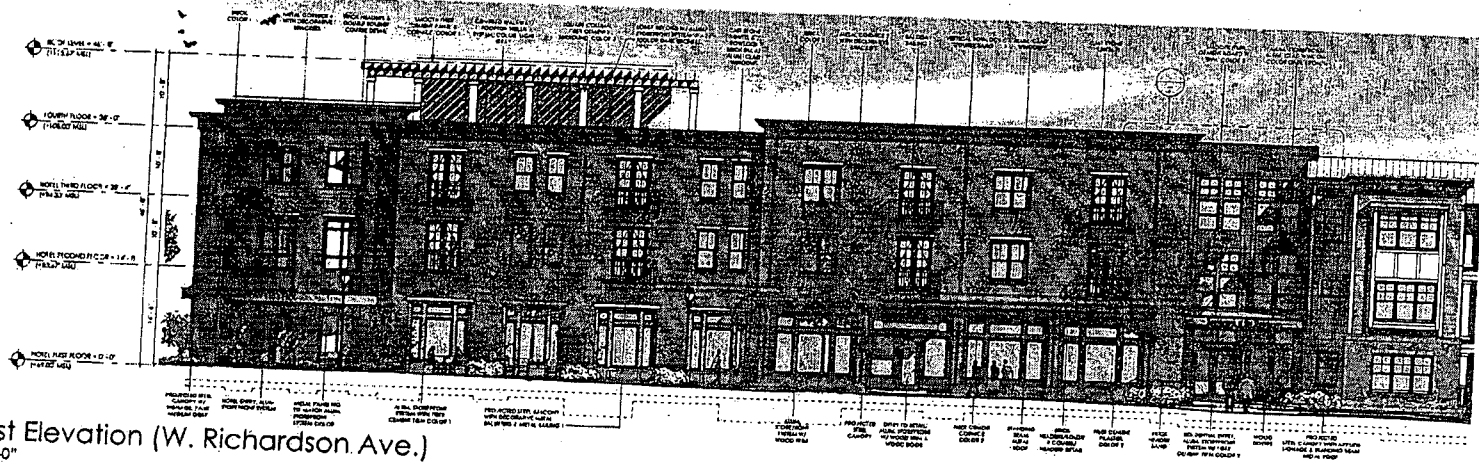


**MATERIAL LEGEND:**  
 Brick Color 1: New Orleans Queen (Boral)  
 Brick Color 2: Lowcountry Blend (Palmetto)  
 Caststone Lintel Color: Bone White, Smooth Finish  
 Fiber Cement Color 1: Hardie Ught Mist  
 Fiber Cement Color 2: Hardie Iron Gray  
 Fiber Cement Color 3: Hardie Arctic White  
 Fiber Cement Color 4: Hardie Heathered Moss

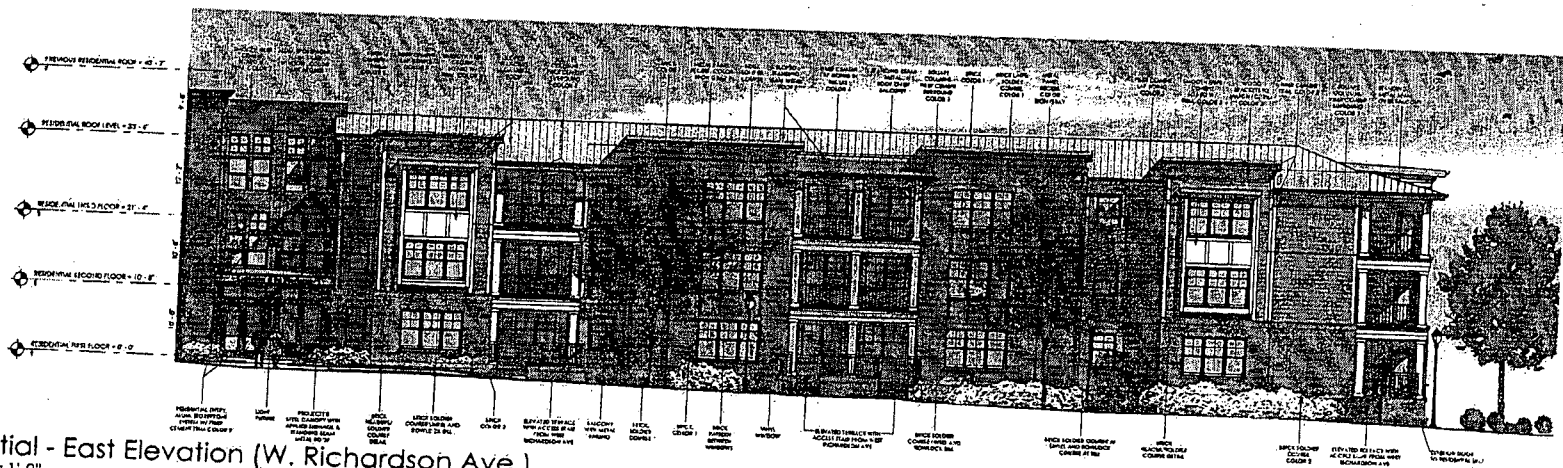
Metal Cornice Color 1 (Hotel): Forest Green  
 Metal Cornice Color 2 (Hotel): Forest Green  
 Metal Cornice Color 3 (Rooftop): Regal White  
 Metal Cornice Color 4 (Hotel): Forest Green  
 Alum. Slatfront Color (Hotel/ Conf.): Dark Bronze  
 Alum. Clad Window Color (Hotel): Dark Bronze  
 Vinyl Window Color (Residential): White

Rolling 1 (Hotel) Color: Statuary Bronze  
 Rolling 2 (Residential) Color: White  
 Rolling 3 (Conference) Color: Statuary Bronze  
 Standing Seam Metal Roof Color: Dove Gray  
 Steel Channel Canopy Color: Slate Grey  
 Alum. Trellis (Rooftop) Color: To match Light Mist  
 Alum. Trellis (Conference) Color: match Dark Bronze

**APPLEGATE & CO.**  
 Goff D'Antonio Associates  
 April 6, 2015



Hotel - East Elevation (W. Richardson Ave.)  
SCALE: 1/16" = 1'-0"



Residential - East Elevation (W. Richardson Ave.)  
SCALE: 1/16" = 1'-0"

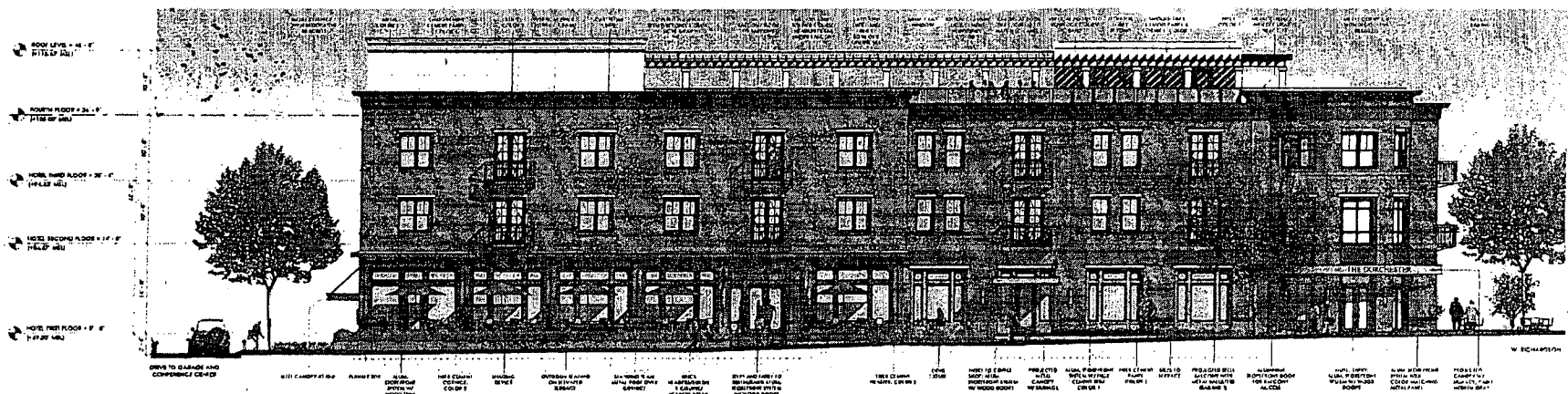
MATERIAL LEGEND:

- Brick Color 1: New Orleans Queen (Boral)
- Brick Color 2: Lowcountry Blend (Palmetto)
- Caststone Unisel Color: Bone White, Smooth Finish
- Fiber Cement Color 1: Hardie Light Mist
- Fiber Cement Color 2: Hardie Iron Gray
- Fiber Cement Color 3: Hardie Arctic White
- Fiber Cement Color 4: Hardie Heathered Moss

- Metal Cornice Color 1 (Hotel): Forest Green
- Metal Cornice Color 2 (Hotel): Forest Green
- Metal Cornice Color 3 (Rooftop): Regal White
- Metal Cornice Color 4 (Hotel): Forest Green
- Alum. Stairfront Color (Hotel/Cont.): Dark Bronze
- Alum. Clad Window Color (Hotel): Dark Bronze
- Vinyl Window Color (Residential): White

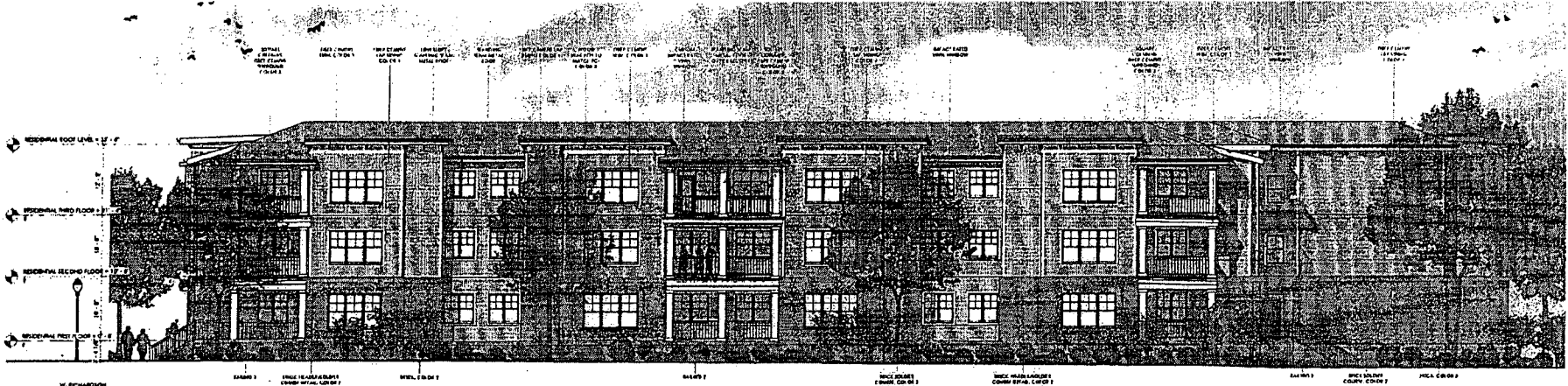
- Railing 1 (Hotel) Color: Statuary Bronze
- Railing 2 (Residential) Color: White
- Railing 3 (Conference) Color: Statuary Bronze
- Standing Seam Metal Roof Color: Dove Gray
- Steel Channel Canopy Color: Slate Grey
- Alum. Trellis (Rooftop) Color: To match Light Mist
- Alum. Trellis (Conference) Color: match Dark Bronze





Hotel - South Elevation (S. Cedar St.)  
SCALE: 1/16" = 1'-0"

1073



Residential - North Elevation  
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND:

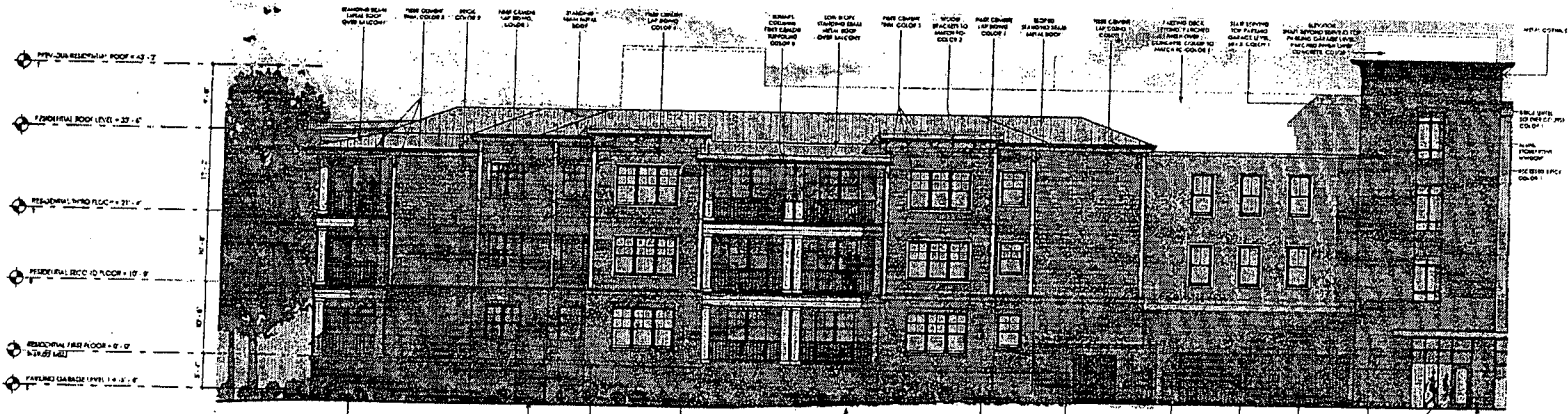
Brick Color 1: New Orleans Queen (Boral)  
 Brick Color 2: Lowcountry Blend (Palmetto)  
 Caststone Untel Color: Bone White, Smooth Finish  
 Fiber Cement Color 1: Hardie Light Mist  
 Fiber Cement Color 2: Hardie Iron Gray  
 Fiber Cement Color 3: Hardie Arctic White  
 Fiber Cement Color 4: Hardie Heathered Moss

Metal Cornice Color 1 (Hotel): Forest Green  
 Metal Cornice Color 2 (Hotel): Forest Green  
 Metal Cornice Color 3 (Rooftop): Regal White  
 Metal Cornice Color 4 (Hotel): Forest Green  
 Alum. Storefront Color (Hotel/ Conf.): Dark Bronze  
 Alum. Clad Window Color (Hotel): Dark Bronze  
 Vinyl Window Color (Residential): White

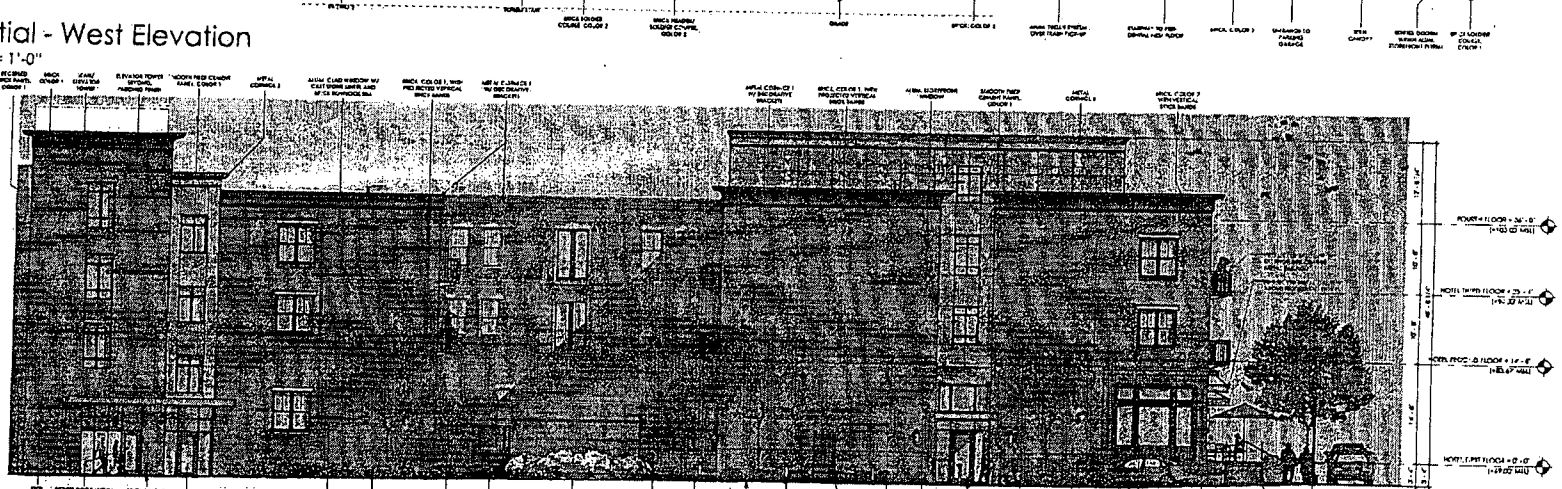
Railing 1 (Hotel) Color: Statuary Bronze  
 Railing 2 (Residential) Color: White  
 Railing 3 (Conference) Color: Statuary Bronze  
 Standing Seam Metal Roof Color: Dove Gray  
 Steel Channel Canopy Color: Slate Grey  
 Alum. Trellis (Rooftop) Color: To match Light Mist  
 Alum. Trellis (Conference) Color: match Dark Bronze



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 Goff D'Antonio Associates  
 April 6, 2015



Residential - West Elevation  
SCALE: 1/16" = 1'-0"



Hotel - West Elevation  
SCALE: 1/16" = 1'-0"

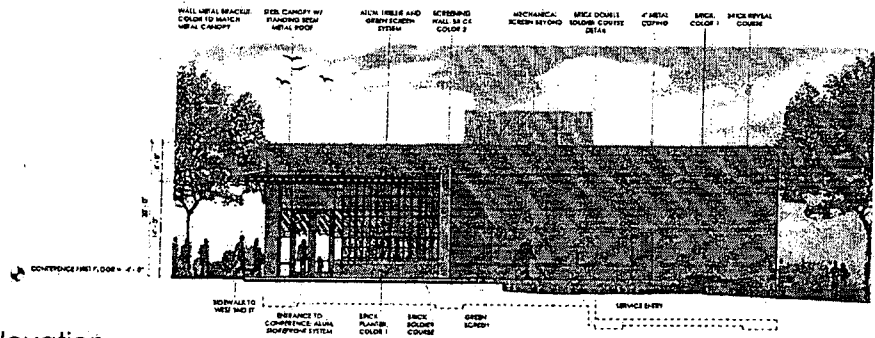
MATERIAL LEGEND:

Brick Color 1: New Orleans Queen (Boral)  
 Brick Color 2: Lowcountry Blend (Palmetto)  
 Caststone (Detail) Color: Bone White, Smooth Finish  
 Fiber Cement Color 1: Hardie Light Mist  
 Fiber Cement Color 2: Hardie Iron Gray  
 Fiber Cement Color 3: Hardie Arctic White  
 Fiber Cement Color 4: Hardie Heathered Moss

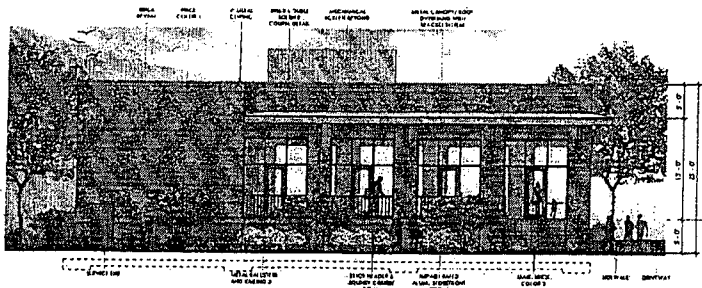
Metal Comice Color 1 (Hotel): Forest Green  
 Metal Comice Color 2 (Hotel): Forest Green  
 Metal Comice Color 3 (Rooftop): Regal White  
 Metal Comice Color 4 (Hotel): Forest Green  
 Alum. Storefront Color (Hotel/ Conf.): Dark Bronze  
 Alum. Clad Window Color (Hotel): Dark Bronze  
 Vinyl Window Color (Residential): White

Railing 1 (Hotel) Color: Statuary Bronze  
 Railing 2 (Residential) Color: White  
 Railing 3 (Conference) Color: Statuary Bronze  
 Standing Seam Metal Roof Color: Dove Gray  
 Steel Channel Canopy Color: Slate Gray  
 Alum. Trellis (Rooftop) Color: To match Light Mist  
 Alum. Trellis (Conference) Color: match Dark Bronze





Conference Center - East Elevation  
SCALE: 1/16" = 1'-0"



Conference Center - West Elevation (W. 2nd South St.)  
SCALE: 1/16" = 1'-0"

1075

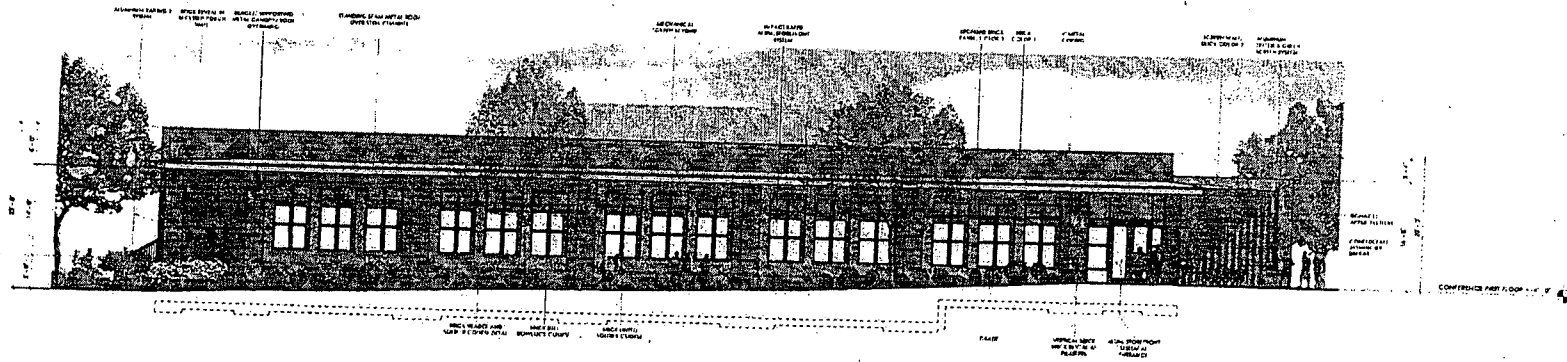


**MATERIAL LEGEND:**  
 Brick Color 1: New Orleans Queen (Soral)  
 Brick Color 2: Lowcountry Blend (Palmetto)  
 Caststone Urnel Color: Bone White, Smooth Finish  
 Fiber Cement Color 1: Hardie Light Mist  
 Fiber Cement Color 2: Hardie Iron Gray  
 Fiber Cement Color 3: Hardie Arctic White  
 Fiber Cement Color 4: Hardie Heathered Moss

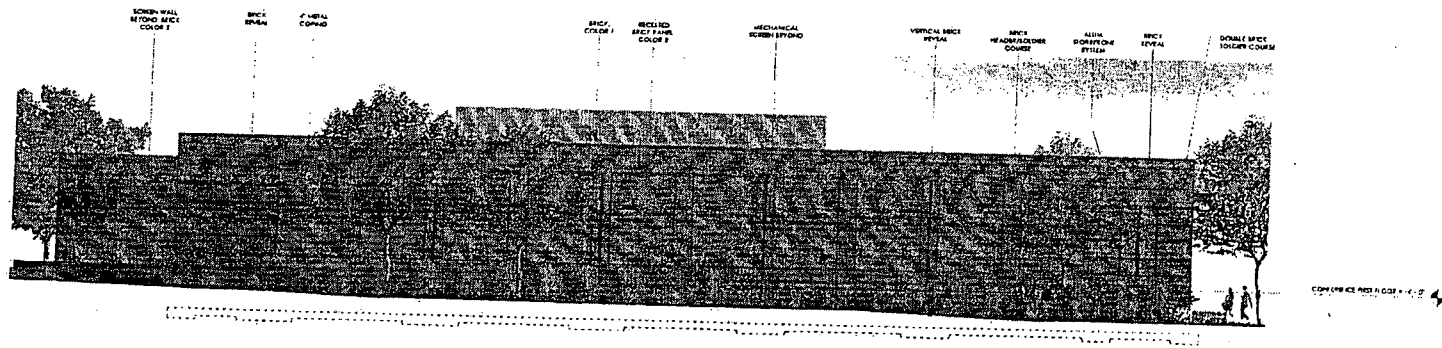
Metal Cornice Color 1 (Hotel): Forest Green  
 Metal Cornice Color 2 (Hotel): Forest Green  
 Metal Cornice Color 3 (Rooftop): Regal White  
 Metal Cornice Color 4 (Hotel): Forest Green  
 Alum. Storefront Color (Hotel/ Conf.): Dark Bronze  
 Alum. Clad Window Color (Hotel): Dark Bronze  
 Vinyl Window Color (Residential): White

Railing 1 (Hotel) Color: Statuary Bronze  
 Railing 2 (Residential) Color: White  
 Railing 3 (Conference) Color: Statuary Bronze  
 Standing Seam Metal Roof Color: Dove Gray  
 Steel Channel Canopy Color: Slate Grey  
 Alum. Trails (Rooftop) Color: To match Light Mist  
 Alum. Trails (Conference) Color: match Dark Bronze

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 Goff•D'Antonio Associates  
 April 6, 2015



Conference Center - South Elevation (S. Cedar St.)  
SCALE: 1/16" = 1'-0"



Conference Center - North Elevation  
SCALE: 1/16" = 1'-0"

1076



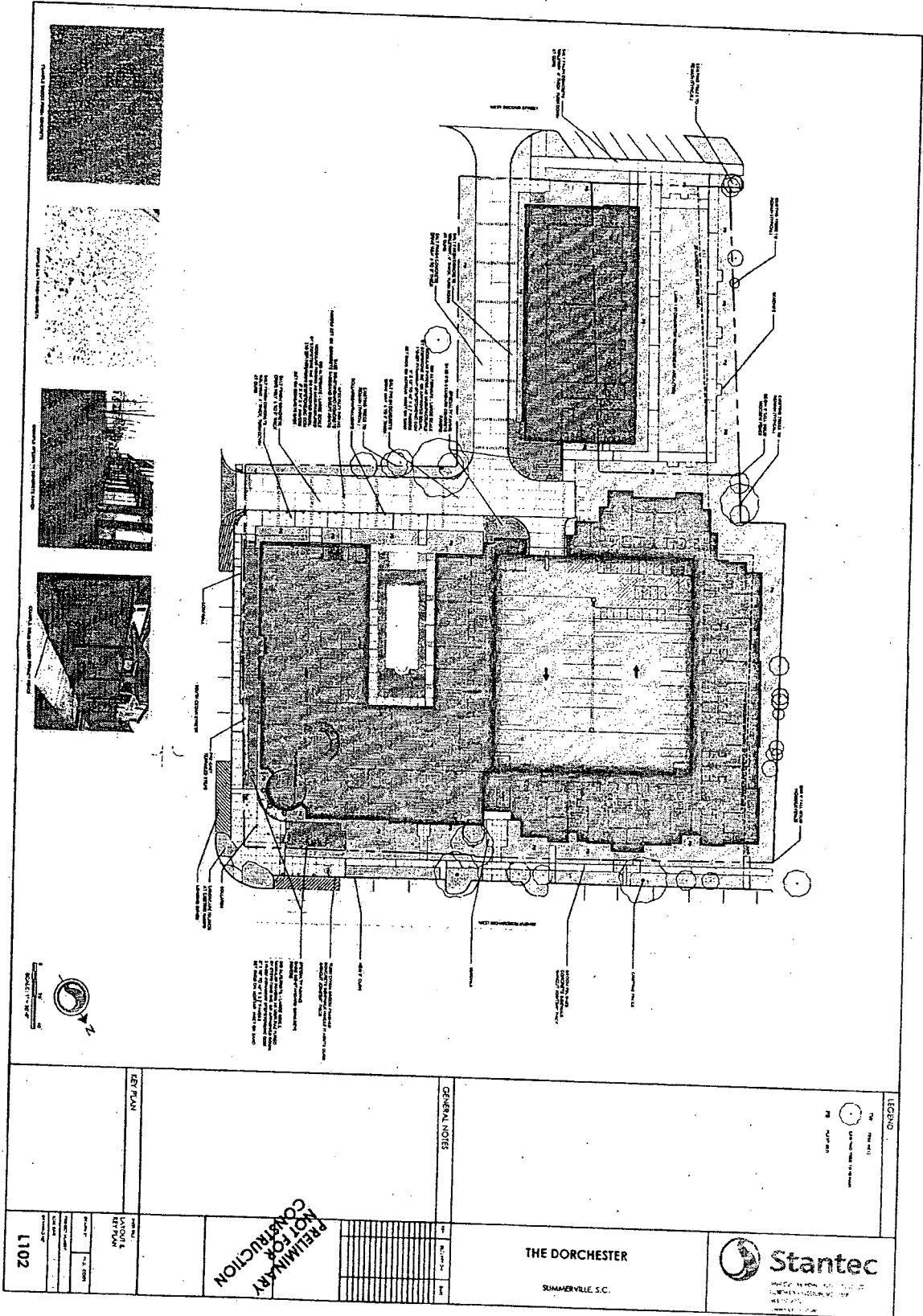
**MATERIAL LEGEND:** Brick Color 1: New Orleans Queen (Boral)  
Brick Color 2: Lowcountry Blend (Palmetto)  
Caststone Lintel Color: Bone White, Smooth Finish  
Fiber Cement Color 1: Hardie Light Mist  
Fiber Cement Color 2: Hardie Iron Gray  
Fiber Cement Color 3: Hardie Arctic White  
Fiber Cement Color 4: Hardie Heathered Moss

Metal Cornice Color 1 (Hotel): Forest Green  
Metal Cornice Color 2 (Hotel): Forest Green  
Metal Cornice Color 3 (Rooftop): Regal White  
Metal Cornice Color 4 (Hotel): Forest Green  
Alum. Storefront Color (Hotel/ Conf.): Dark Bronze  
Alum. Glad Window Color (Hotel): Dark Bronze  
Vinyl Window Color (Residential): White

Rolling 1 (Hotel) Color: Statuary Bronze  
Rolling 2 (Residential) Color: White  
Rolling 3 (Conference) Color: Statuary Bronze  
Standing Seam Metal Roof Color: Dove Gray  
Steel Channel Canopy Color: Slate Gray  
Alum. Trellis (Rooftop) Color: To match Light Mist  
Alum. Trellis (Conference) Color: match Dark Bronze

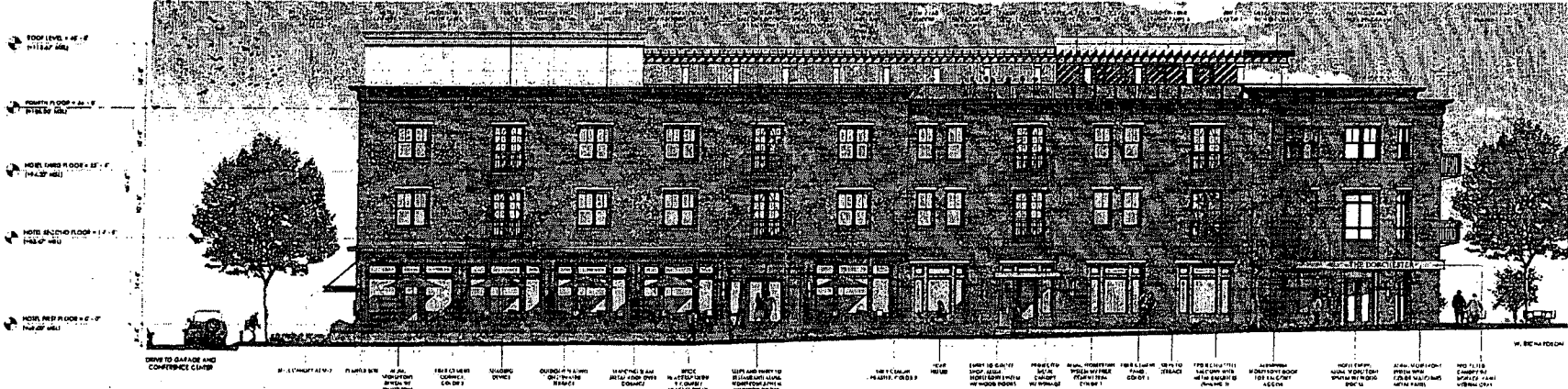
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Goff•D'Antonio Associates  
April 6, 2015





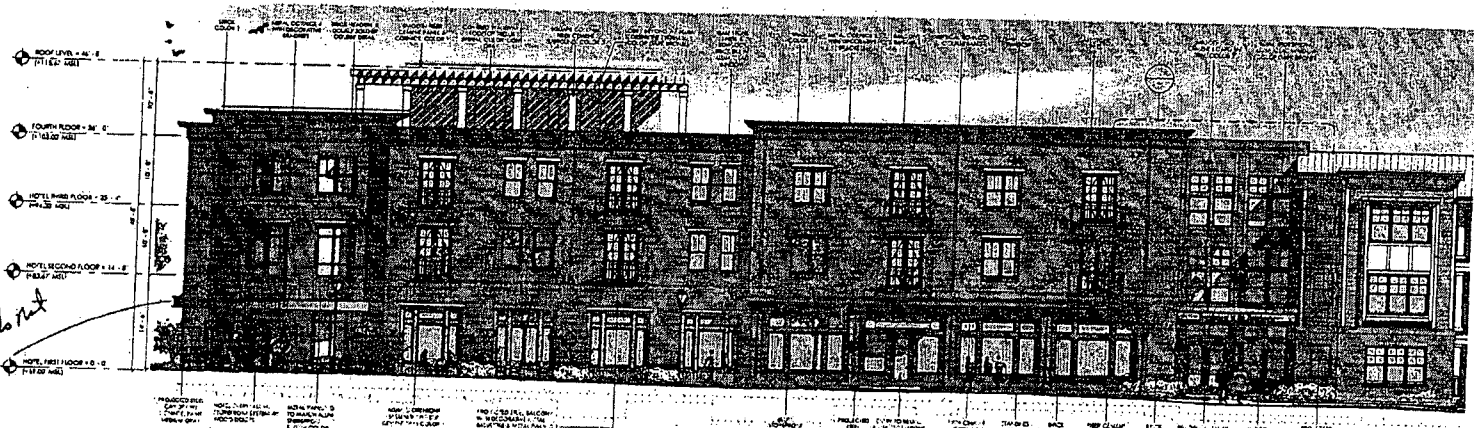




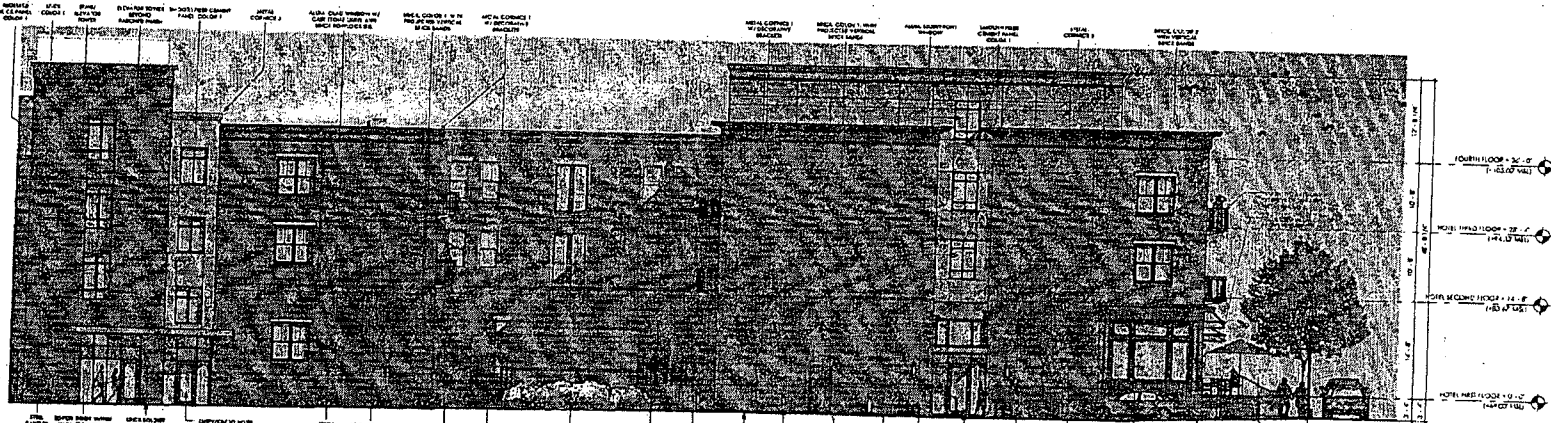


Hotel - South Elevation  
 SCALE: 1/16" = 1'-0"



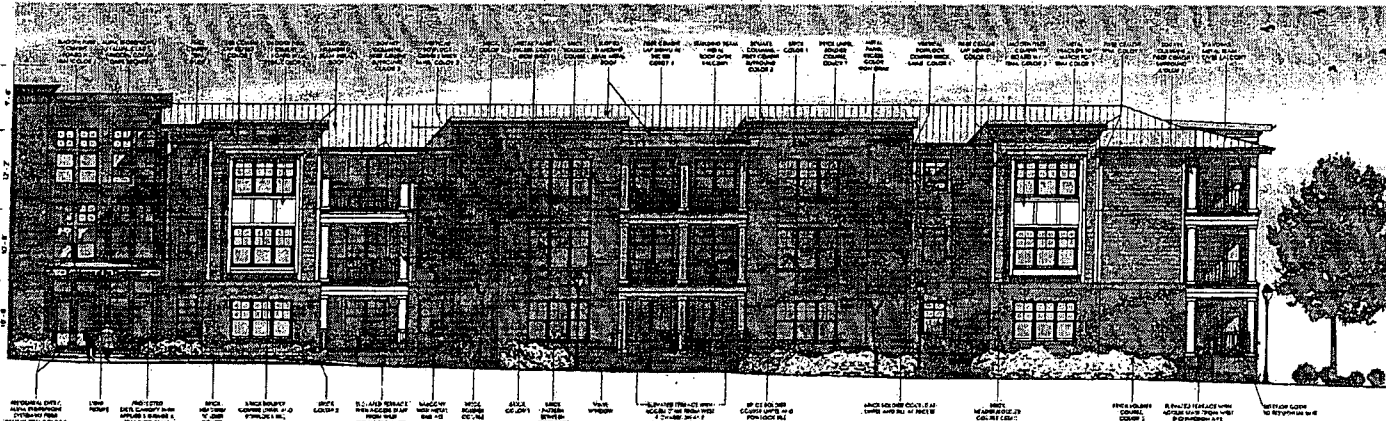


Hotel - East Elevation  
SCALE: 1/16" = 1'-0"

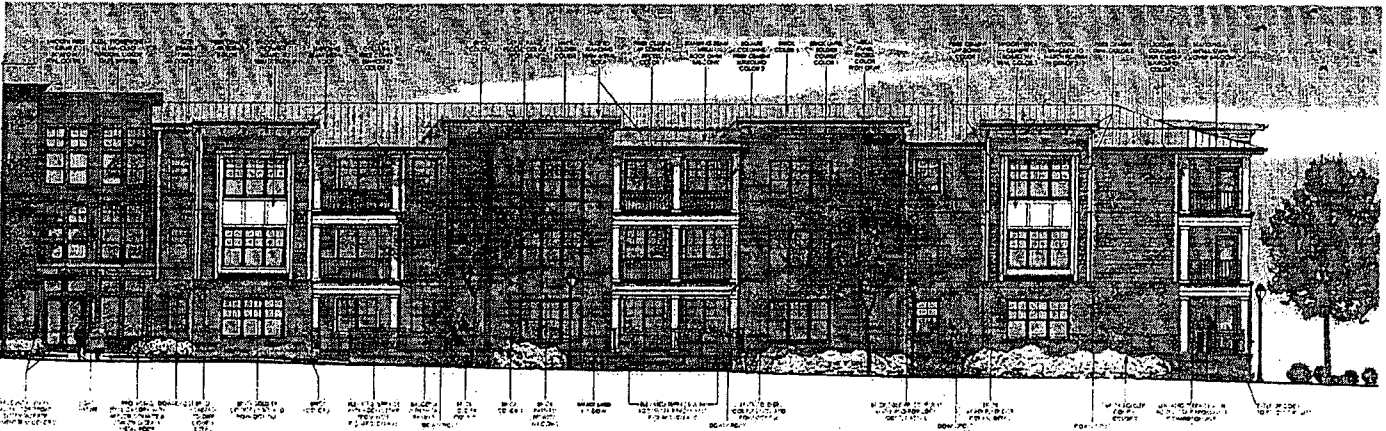


Hotel - West Elevation  
SCALE: 1/16" = 1'-0"





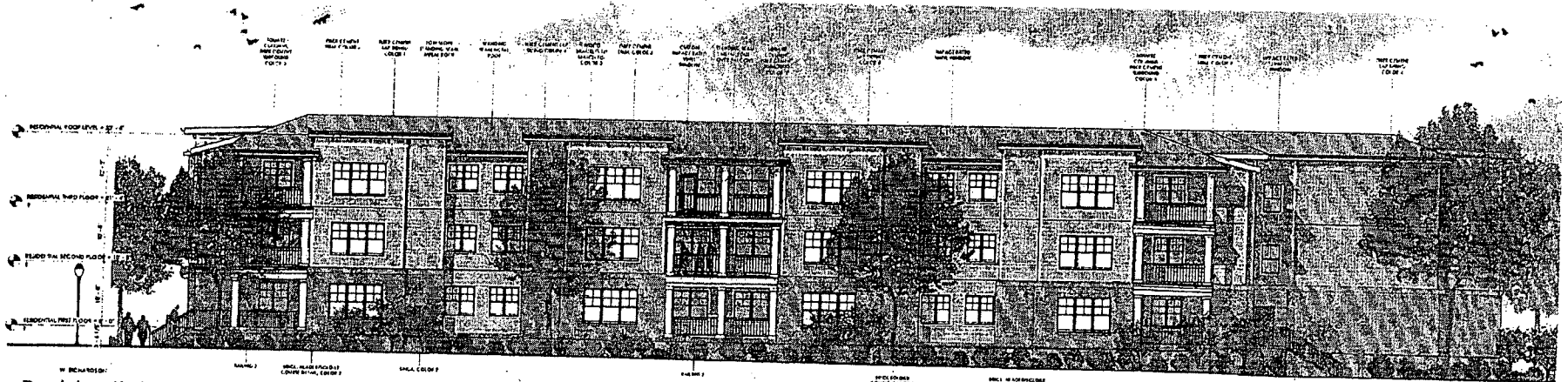
Residential - East Elevation (W. Richardson Ave.) Previous  
 SCALE: 1/16" = 1'-0"



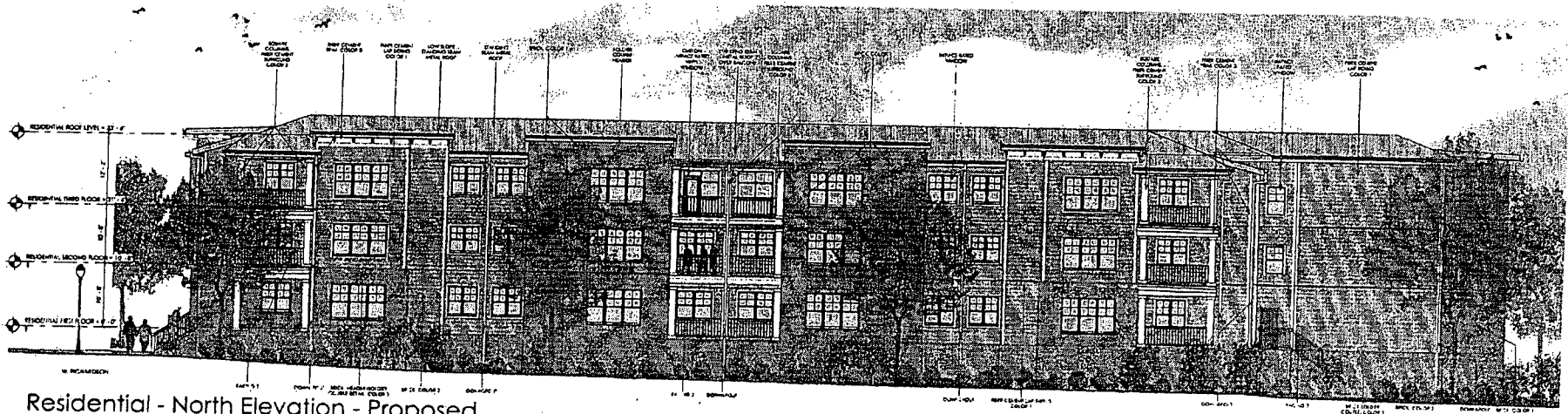
Residential - East Elevation (W. Richardson Ave.) Proposed  
 SCALE: 1/16" = 1'-0"

1083

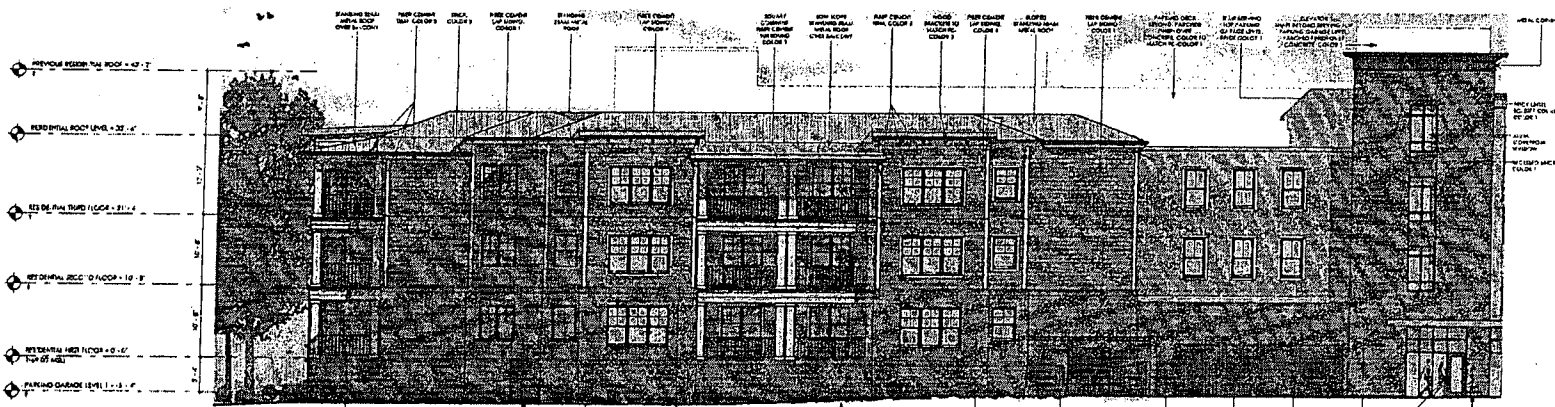




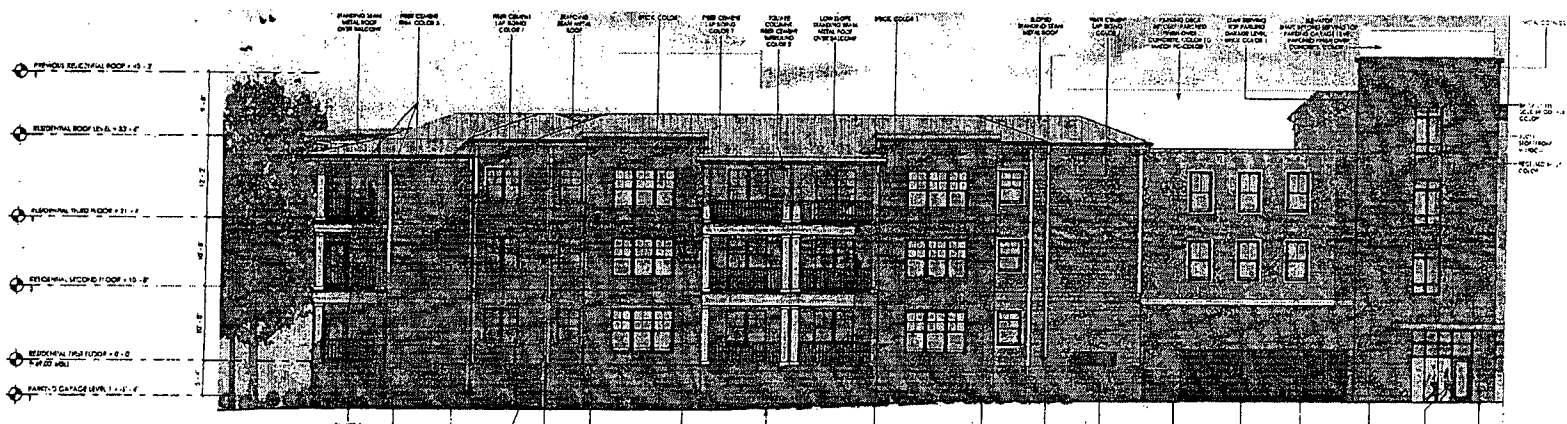
Residential - North Elevation - Previous  
 SCALE: 1/16" = 1'-0"



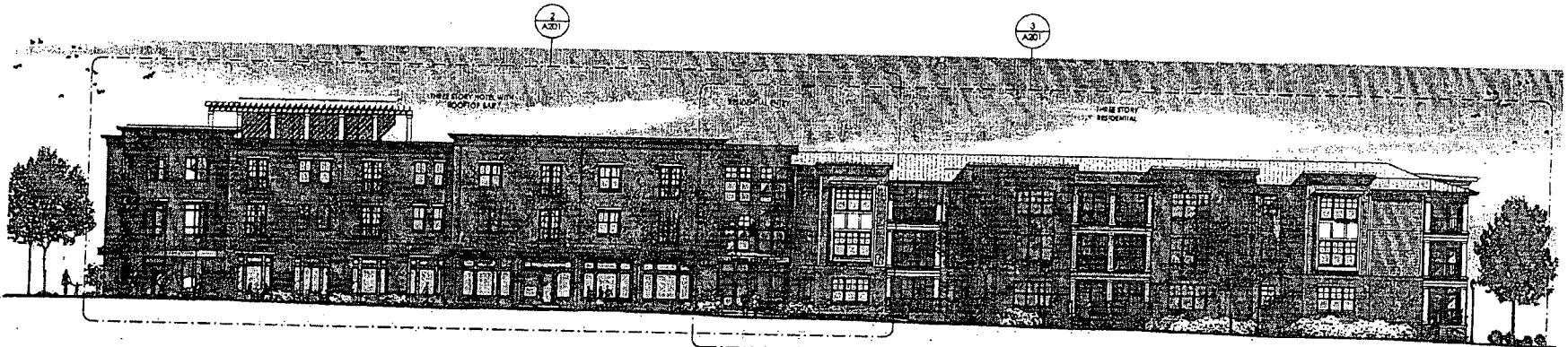
Residential - North Elevation - Proposed  
 SCALE: 1/16" = 1'-0"



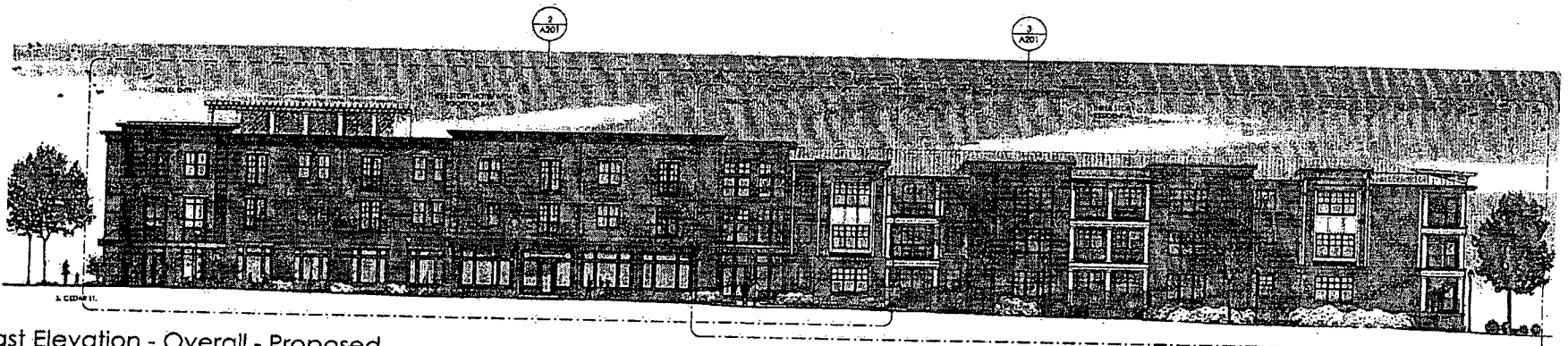
Residential - West Elevation - Previous  
 SCALE: 1/16" = 1'-0"



Residential - West Elevation - Proposed  
 SCALE: 1/16" = 1'-0"

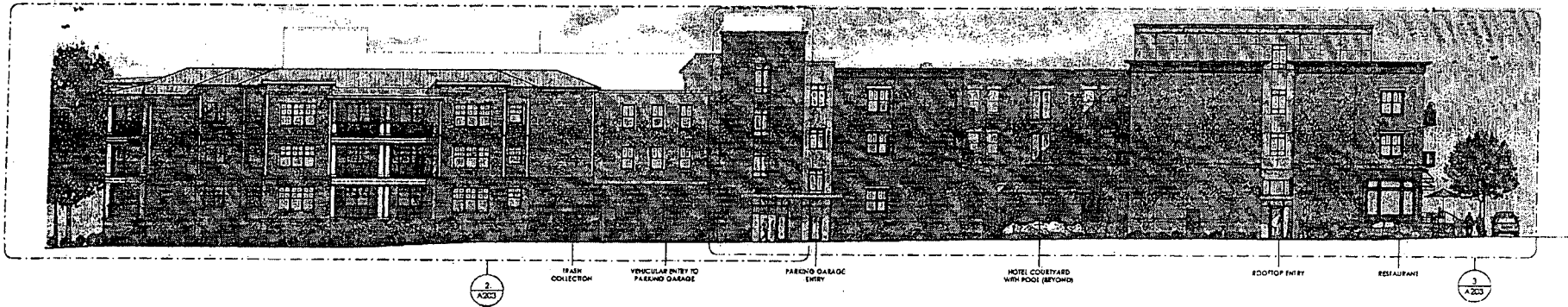


East Elevation - Overall - Previous  
NOT TO SCALE

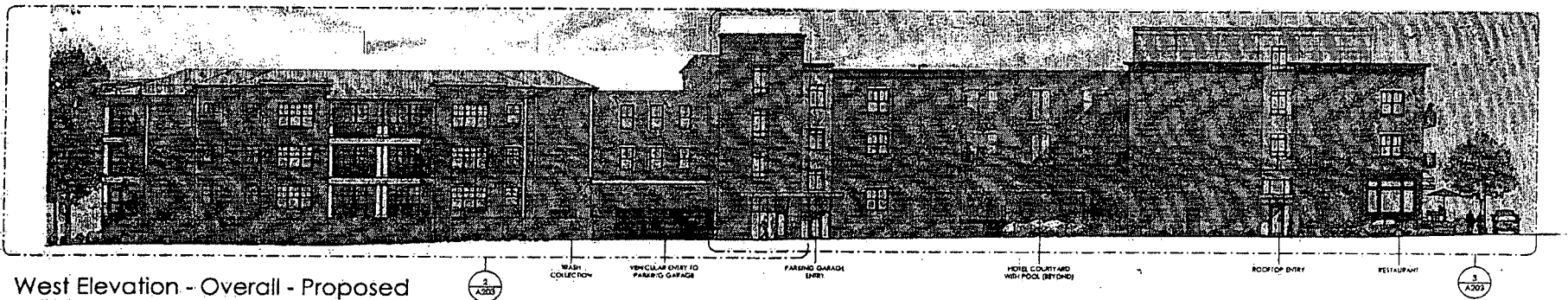


East Elevation - Overall - Proposed  
NOT TO SCALE

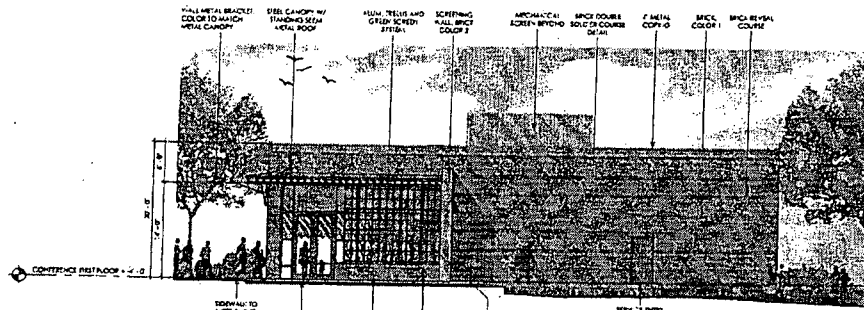
1086



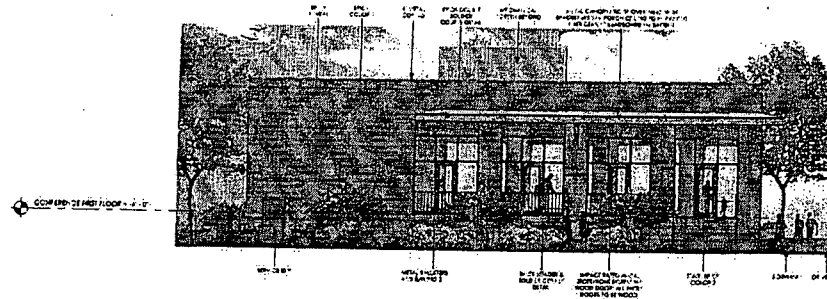
West Elevation - Overall - Previous  
NOT TO SCALE



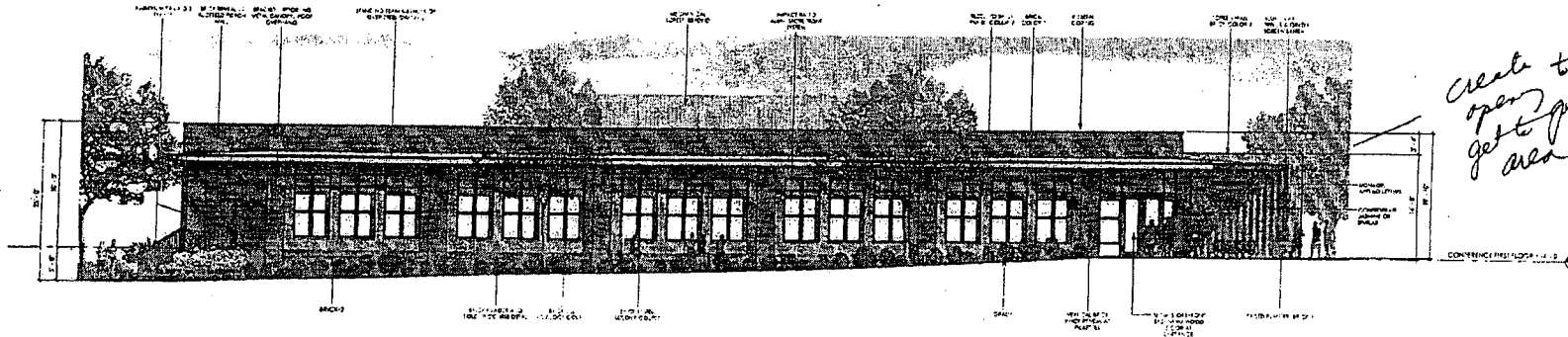
West Elevation - Overall - Proposed  
NOT TO SCALE



Conference Center - East Elevation  
SCALE: 1/16" = 1'-0"

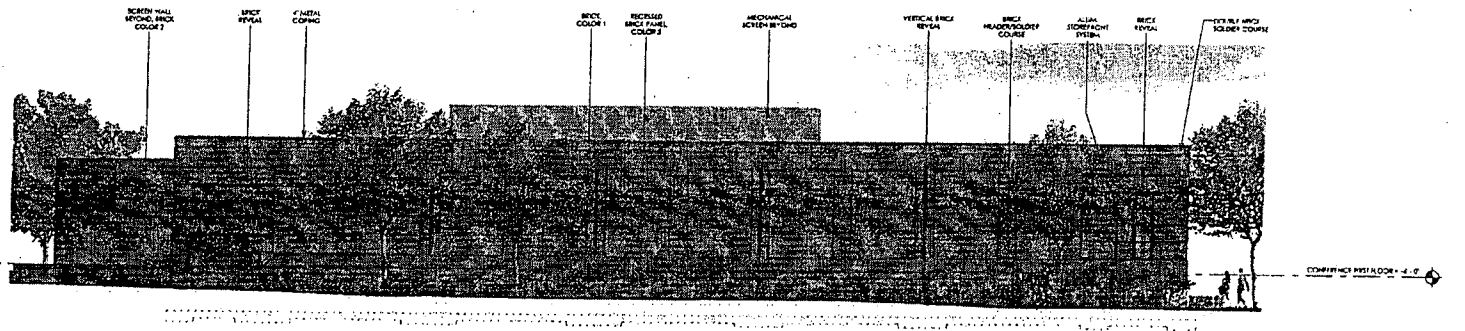


Conference Center - West Elevation (W. 2nd South St.)  
SCALE: 1/16" = 1'-0"



*create to open  
get to public  
area*

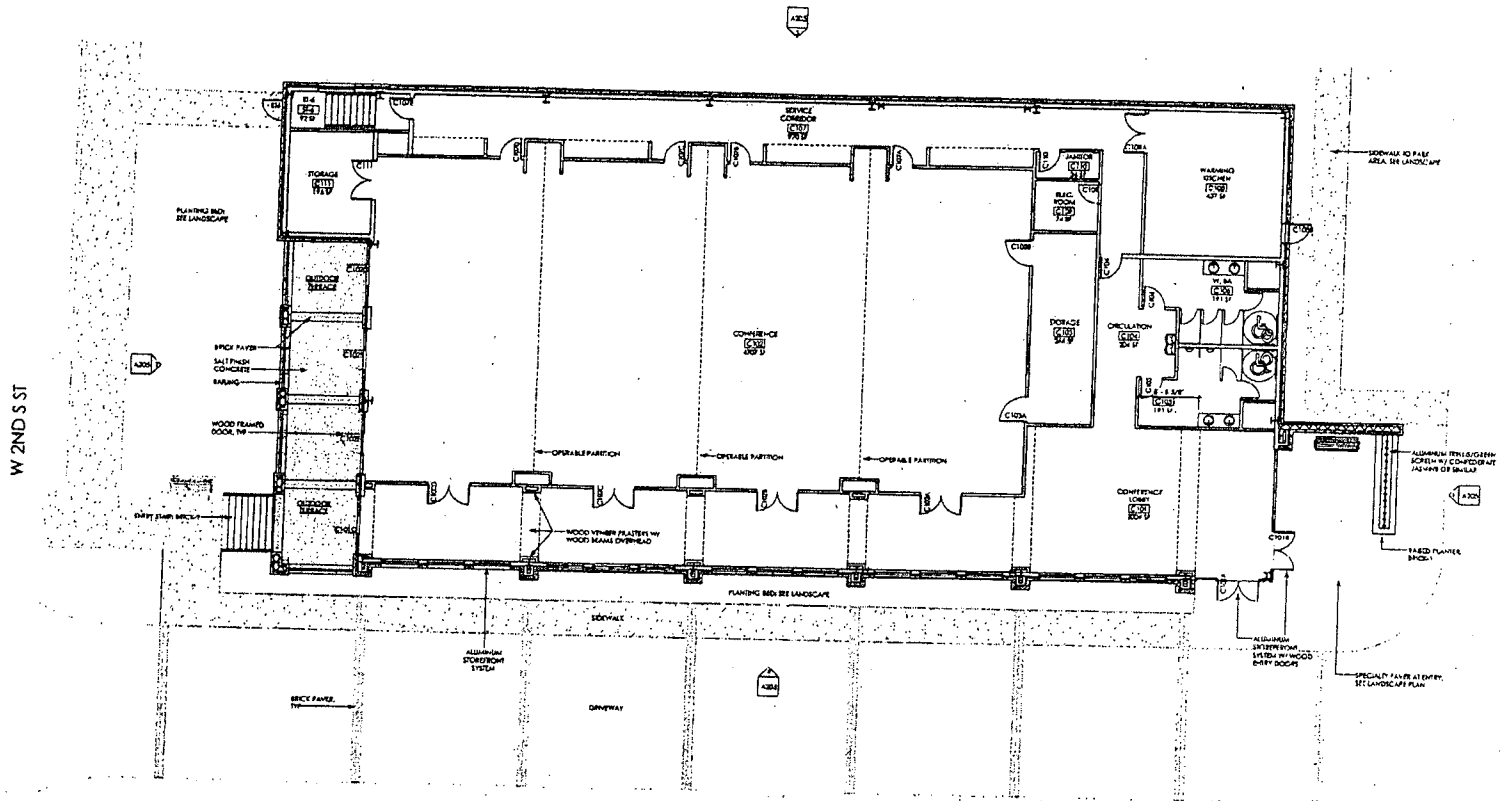
Conference Center - South Elevation (S. Cedar St.)  
SCALE: 1/16" = 1'-0"



Conference Center - North Elevation  
SCALE: 1/16" = 1'-0"

1089

0601



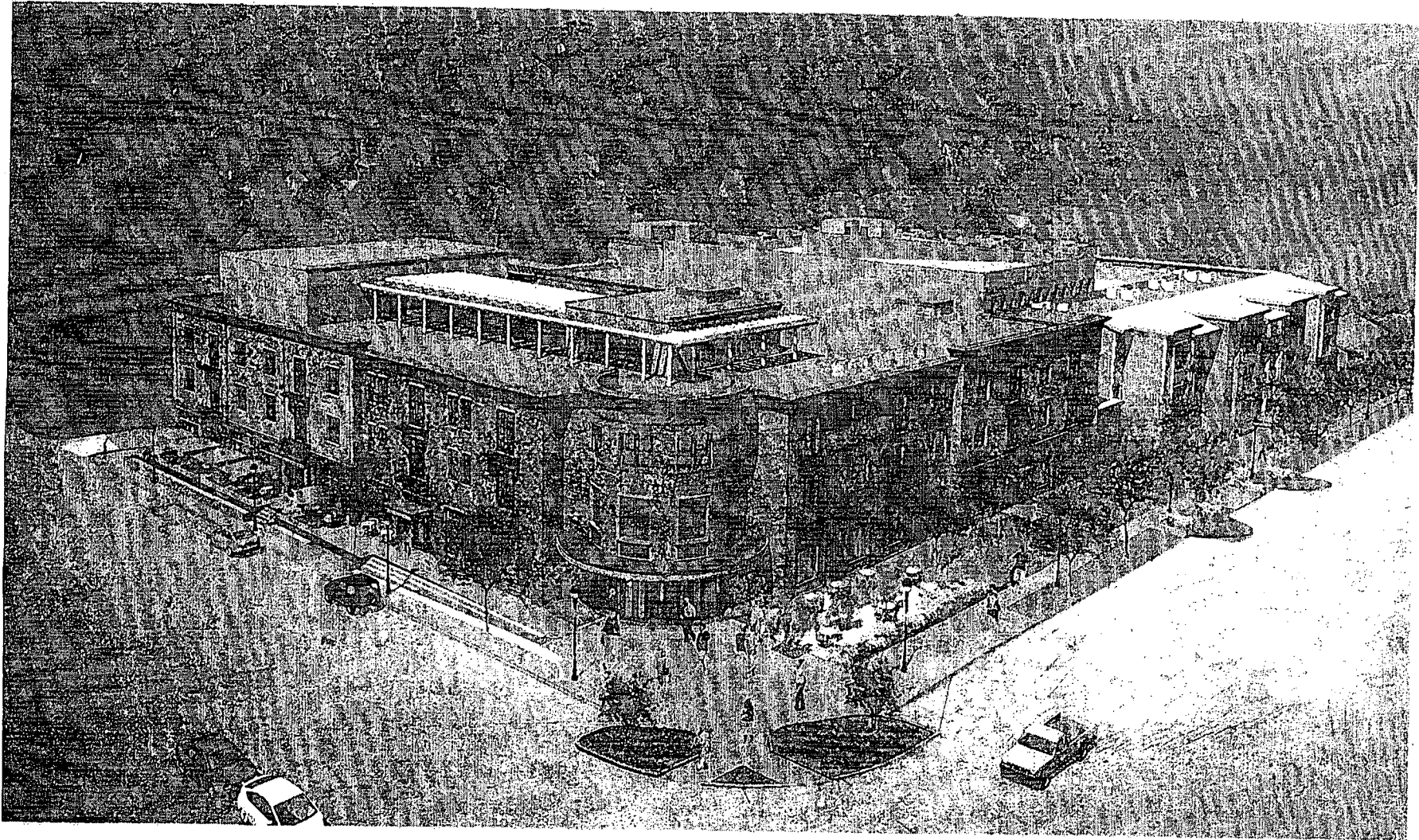
### Conference Center - Floor Plan

SCALE: 1/16" = 1'-0"

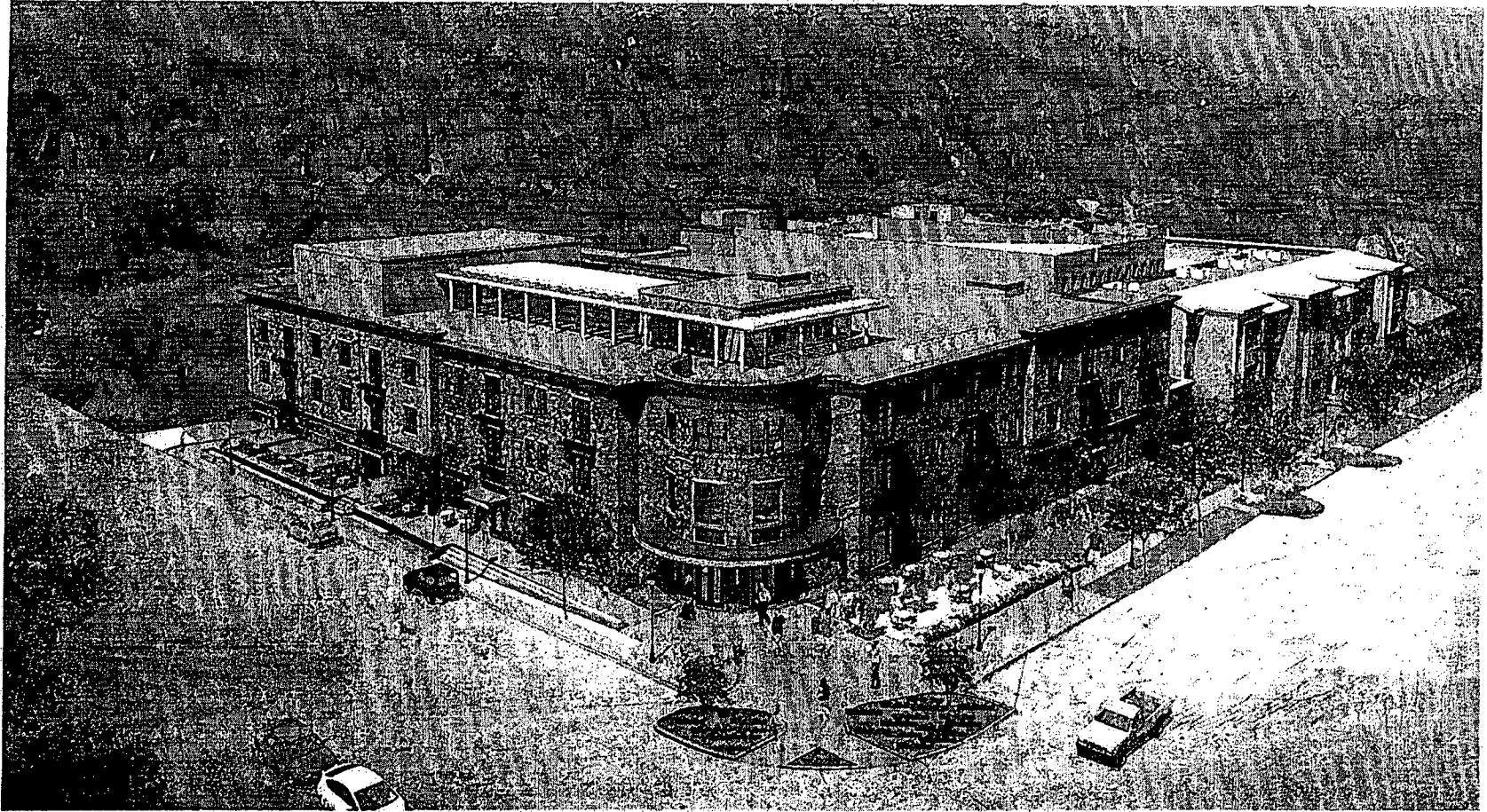


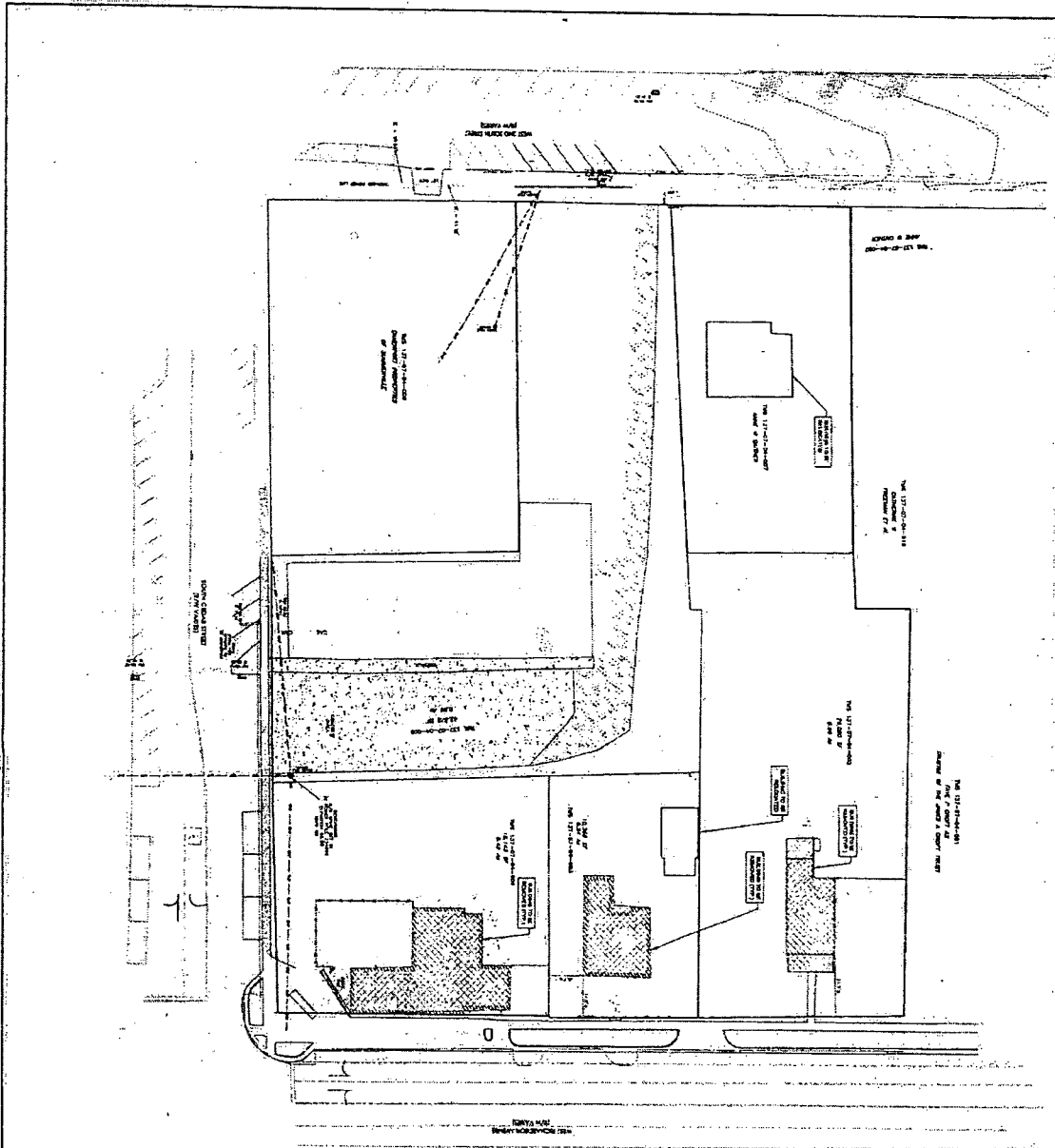
APPLEGATE & CO.  
Goff•D'Antonio Associates  
May 11, 2015





# Conceptual & Preliminary BAR Submittal

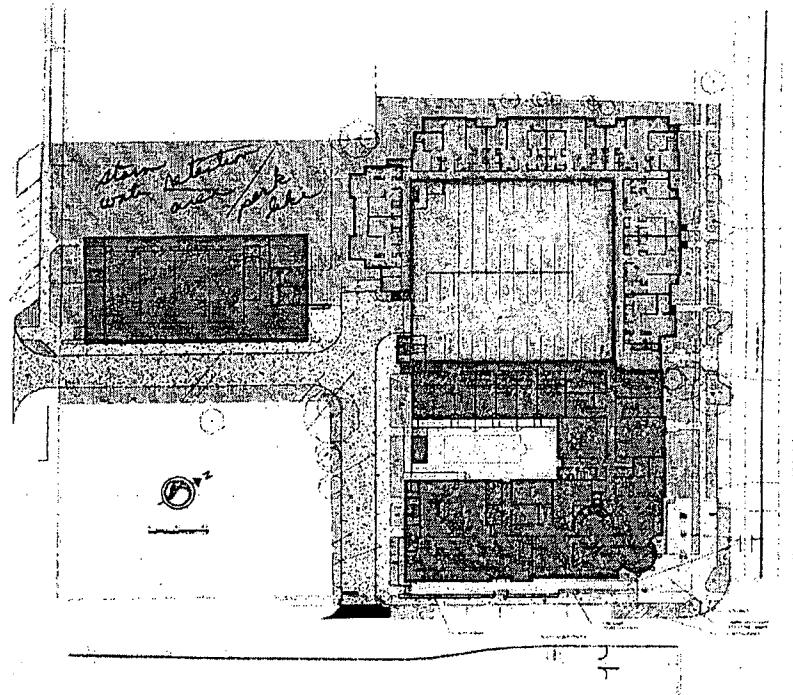
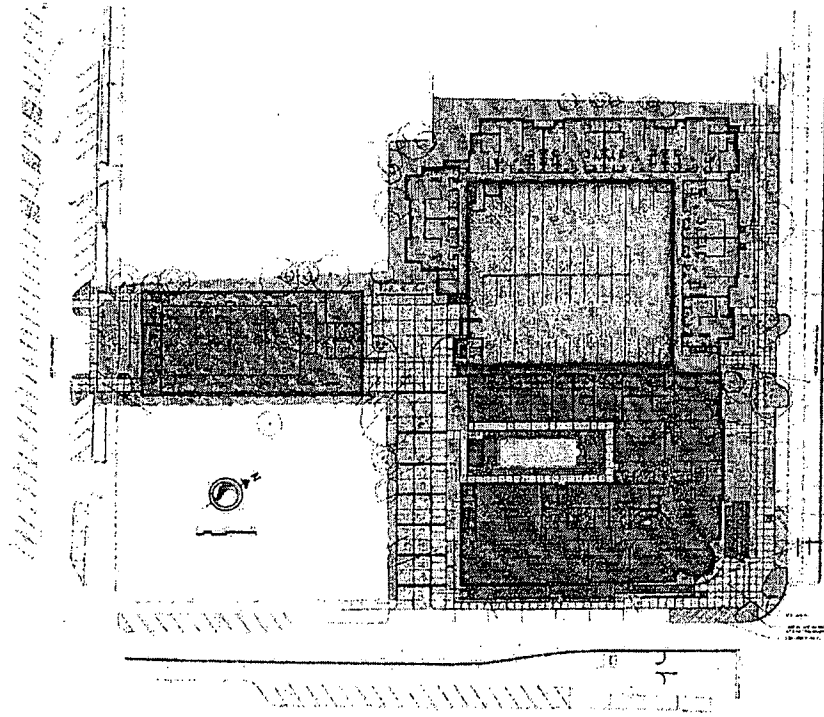




**811**  
Know what's below.  
Call before you dig.



<p>LEGEND</p> <p>STIPPLE TO BE DEMOLISHED</p>	<p>GENERAL NOTES</p>	<p>SEE PLAN</p> <p>FOUNDATION PLAN</p>
<p><b>Stantec</b></p> <p>110 CENTRE POINT DRIVE, SUITE 201 SUMMERVILLE, SC 29402 803.792.1200 www.stantec.com</p>	<p><b>THE DORCHESTER</b></p> <p>SUMMERVILLE, S.C.</p>	<p><b>PRELIMINARY NOT FOR CONSTRUCTION</b></p> <p>C103</p>



PREVIOUS SITE PLAN DESIGN.

PROPOSED SITE PLAN - WITH ADDITIONAL PROPERTY




PERSPECTIVE - CORNER - PREVIOUS DESIGN

PERSPECTIVE - CORNER - PROPOSED DESIGN



DORCHESTER

*No thru wall units*

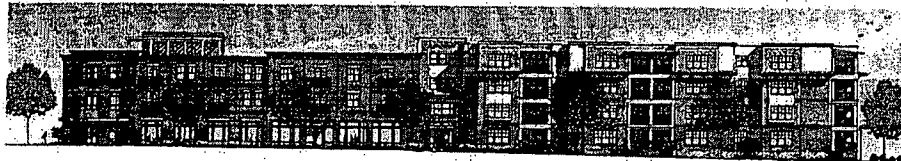
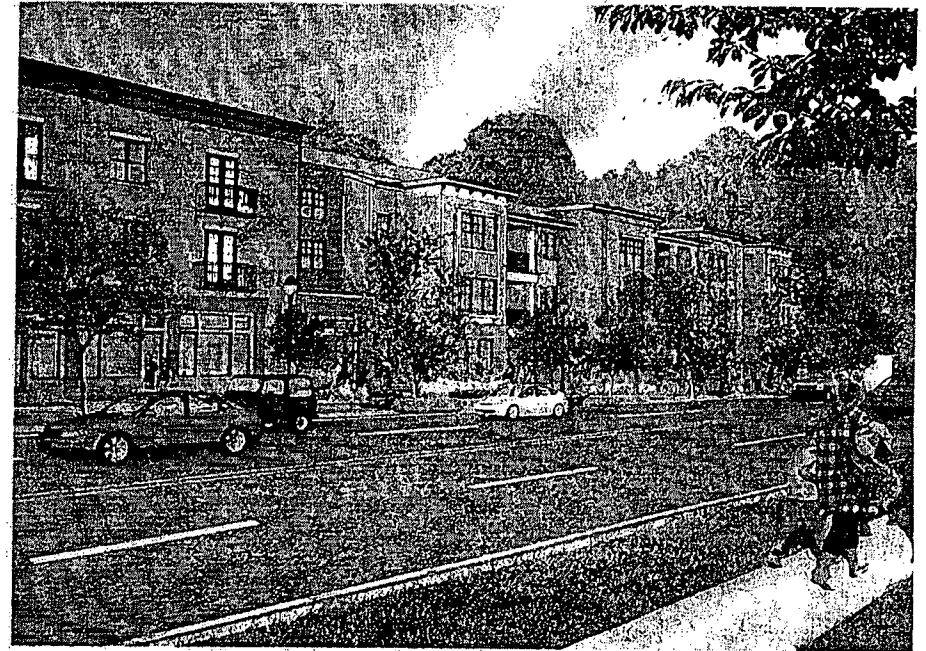
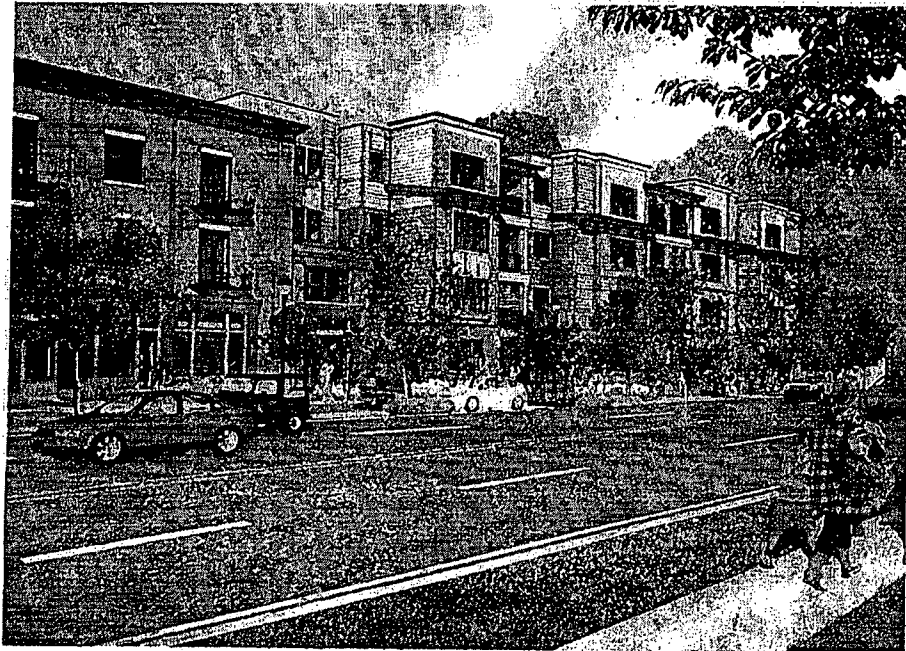

**APPLEGATE & CO.**  
 Goff•D'Antonio Associates  
 January 5, 2014



PERSPECTIVE - RESTAURANT - PREVIOUS DESIGN

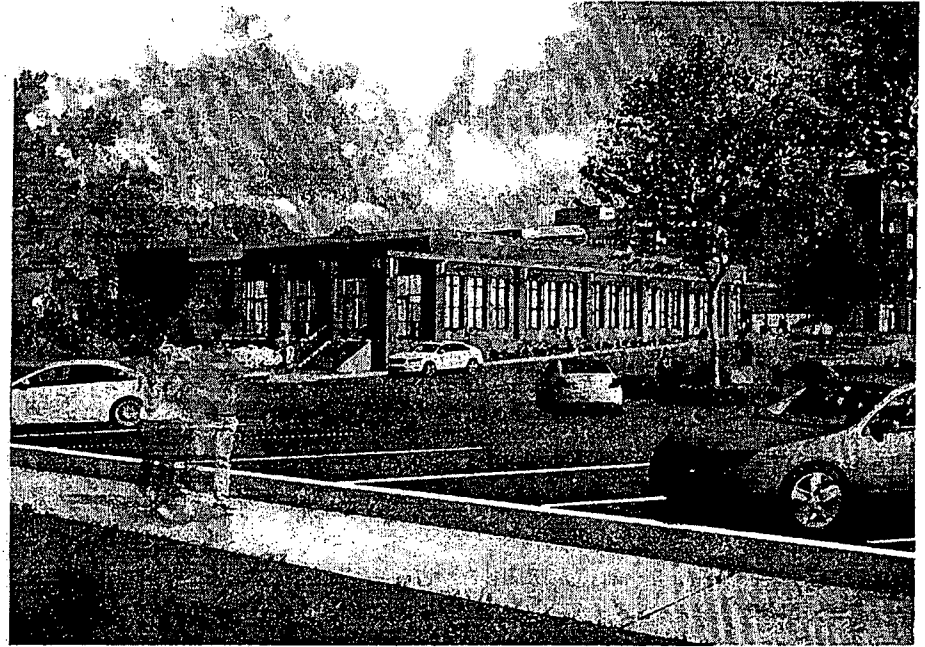


PERSPECTIVE - RESTAURANT - PROPOSED DESIGN



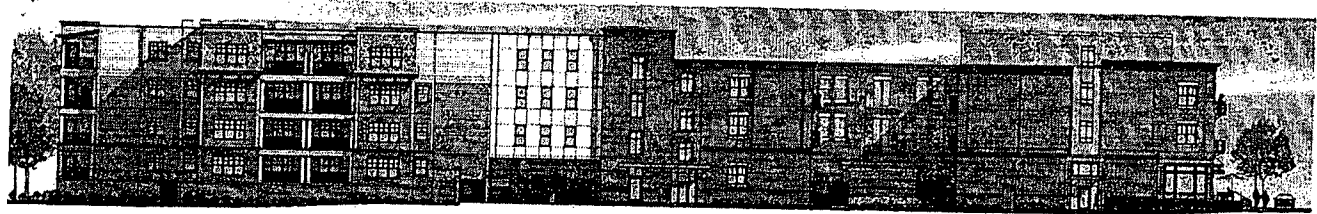
PREVIOUS FOUR STOREY RESIDENTIAL

PROPOSED THREE STOREY RESIDENTIAL

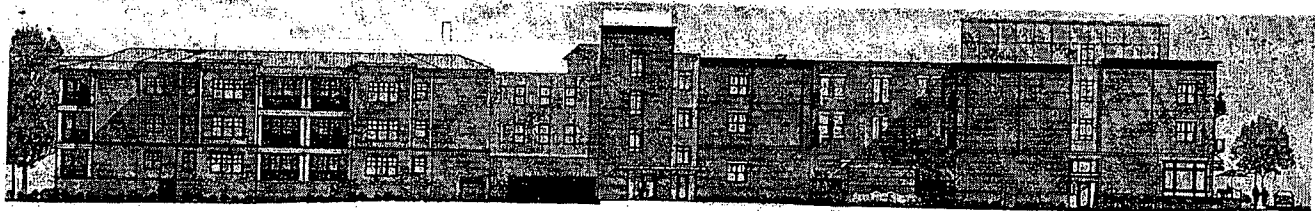


PERSPECTIVE - CONFERENCE CENTER - PREVIOUS DESIGN

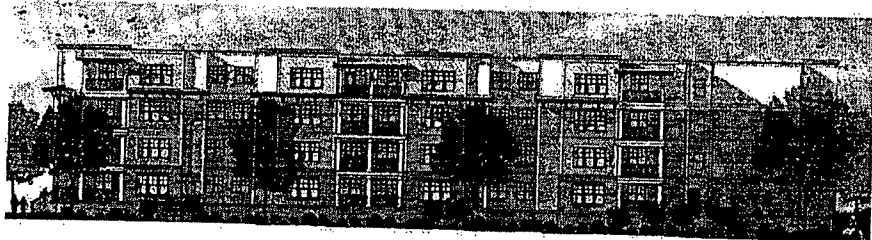
PERSPECTIVE - CONFERENCE CENTER - PROPOSED DESIGN



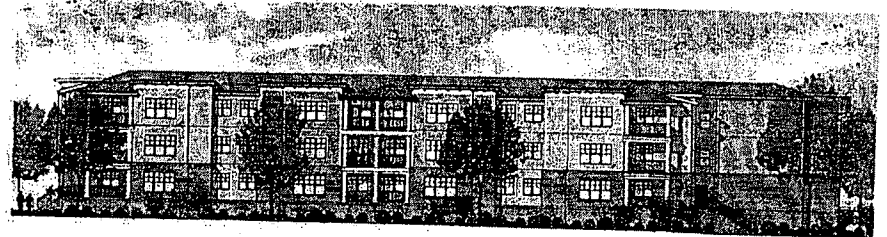
WEST ELEVATION - PREVIOUS DESIGN  
SCALE: 1/32" = 1'-0"



WEST ELEVATION - PROPOSED DESIGN  
SCALE: 1/32" = 1'-0"

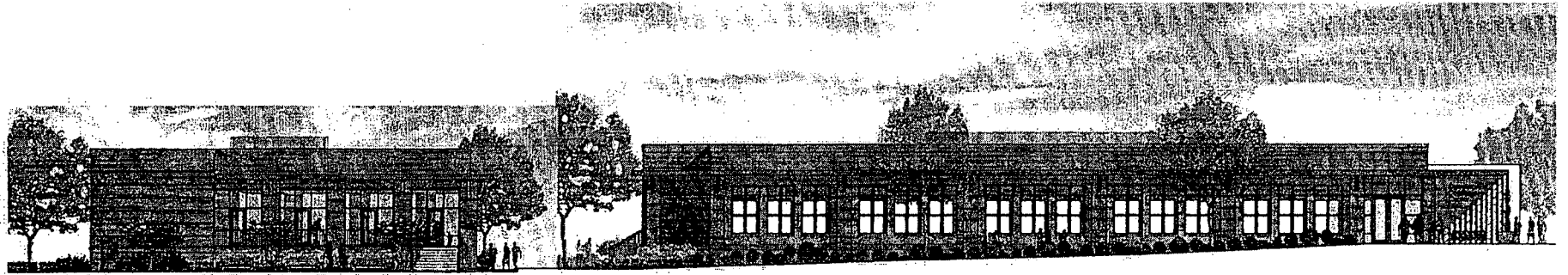


NORTH ELEVATION - PREVIOUS DESIGN  
SCALE: 1/32" = 1'-0"

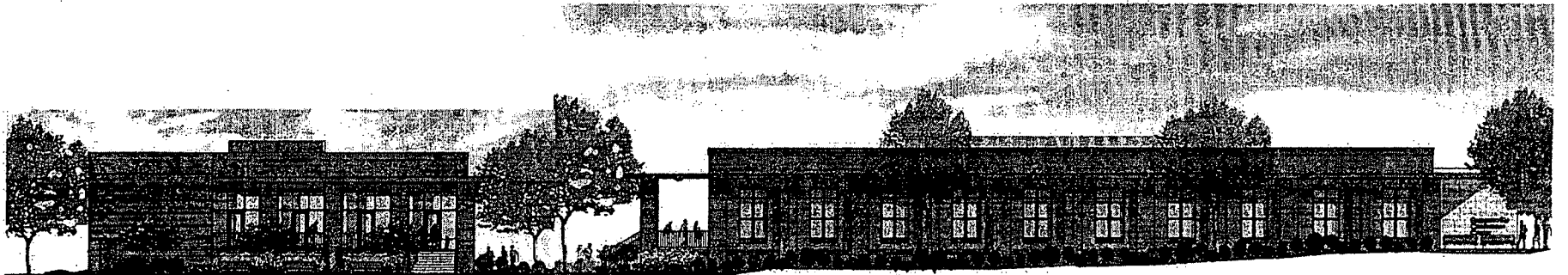


NORTH ELEVATION - PROPOSED DESIGN  
SCALE: 1/32" = 1'-0"

1100

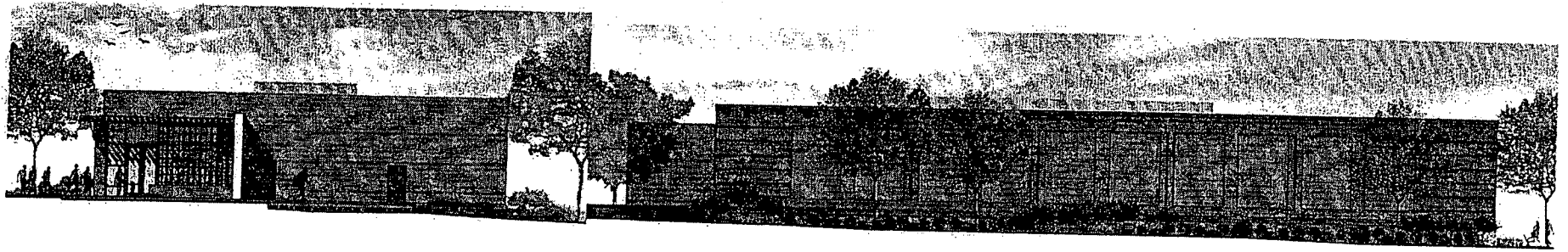


CONFERENCE CENTER WEST AND SOUTH ELEVATION - PROPOSED

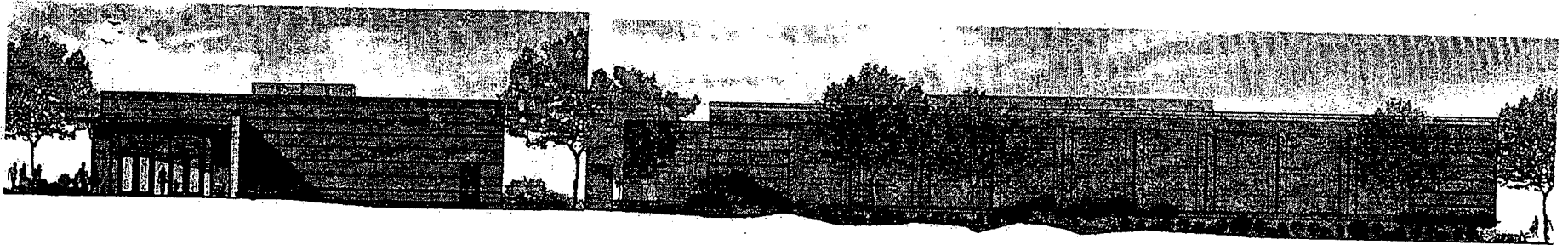


CONFERENCE CENTER WEST AND SOUTH ELEVATION - PREVIOUS

1101



CONFERENCE CENTER EAST AND NORTH ELEVATION - PROPOSED

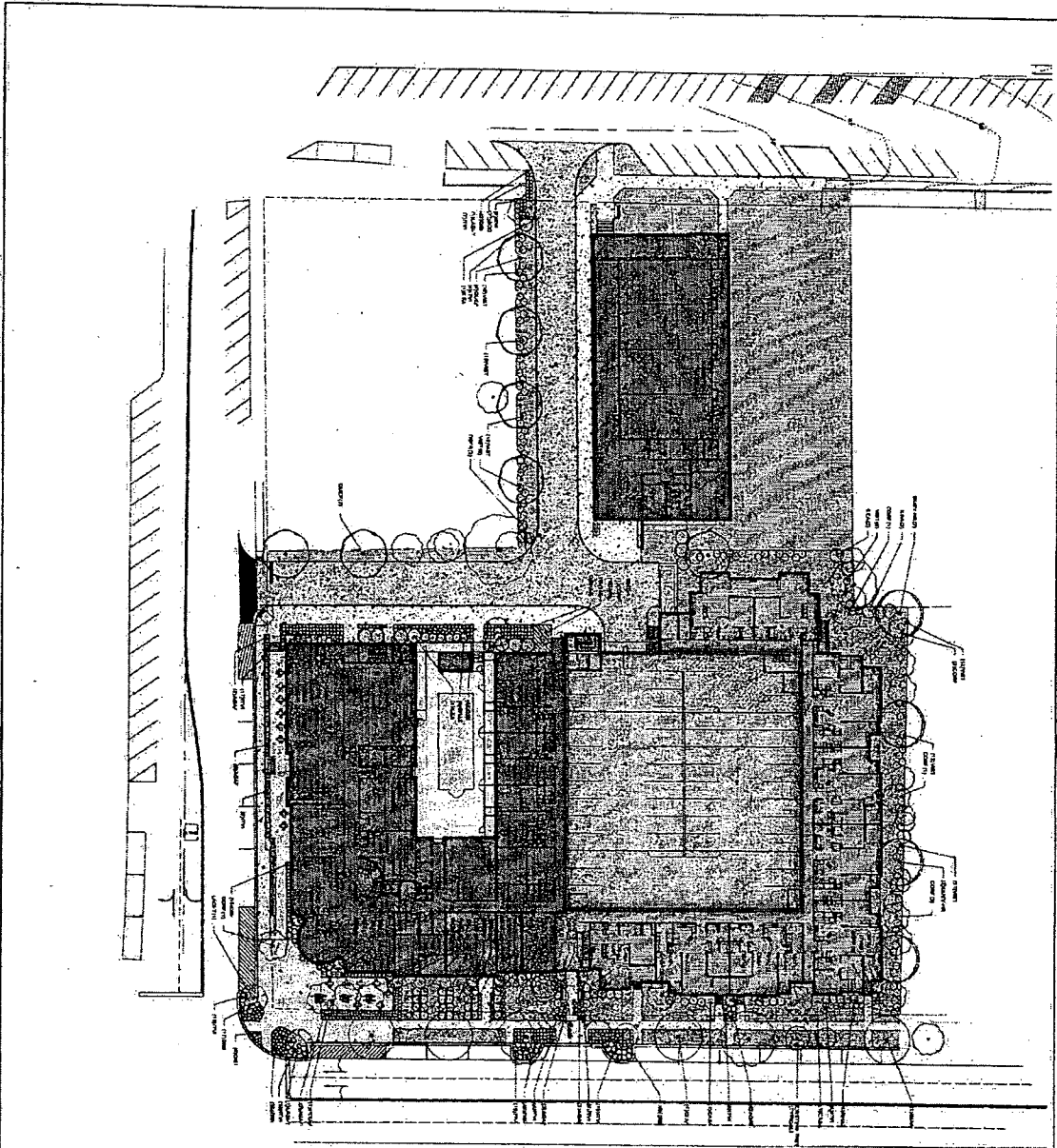


CONFERENCE CENTER EAST AND NORTH ELEVATION - PREVIOUS

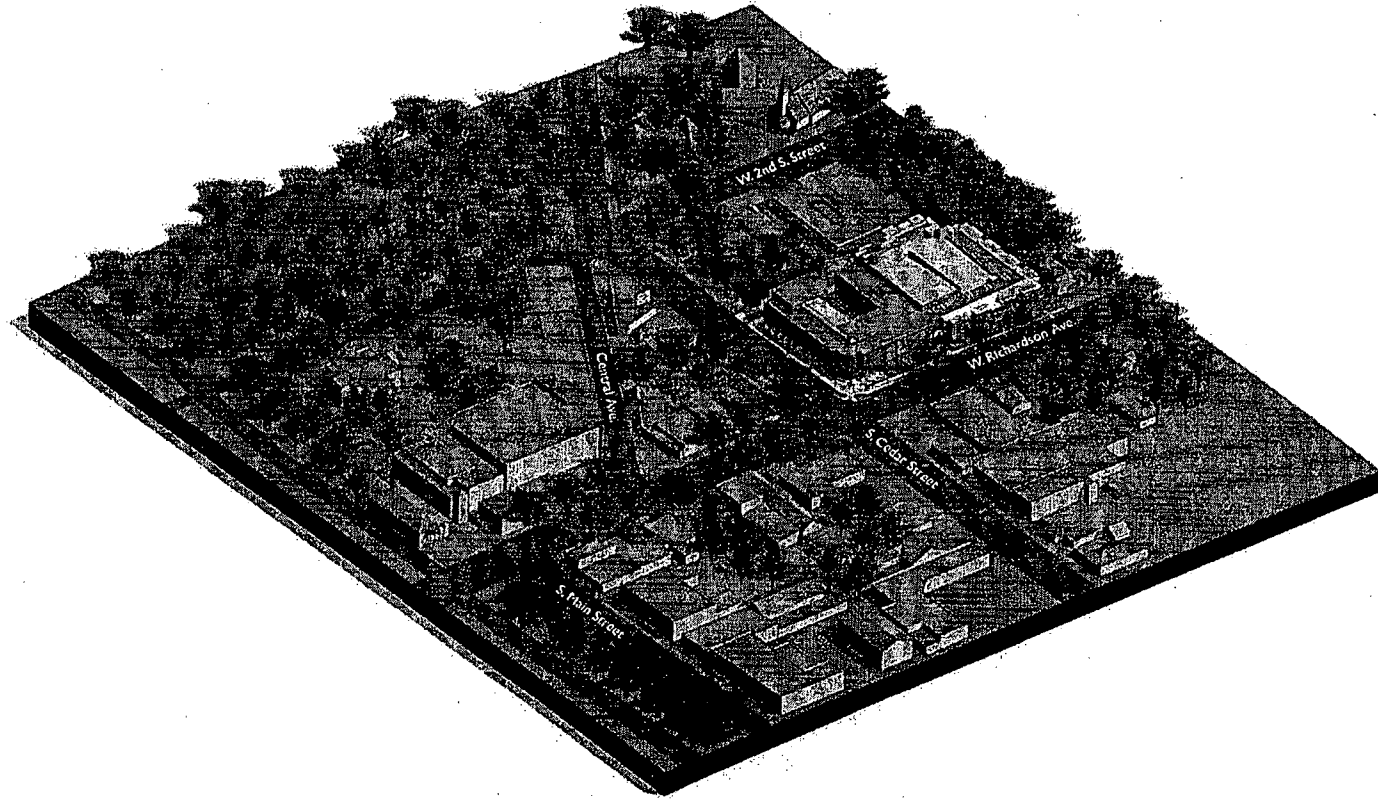
1102





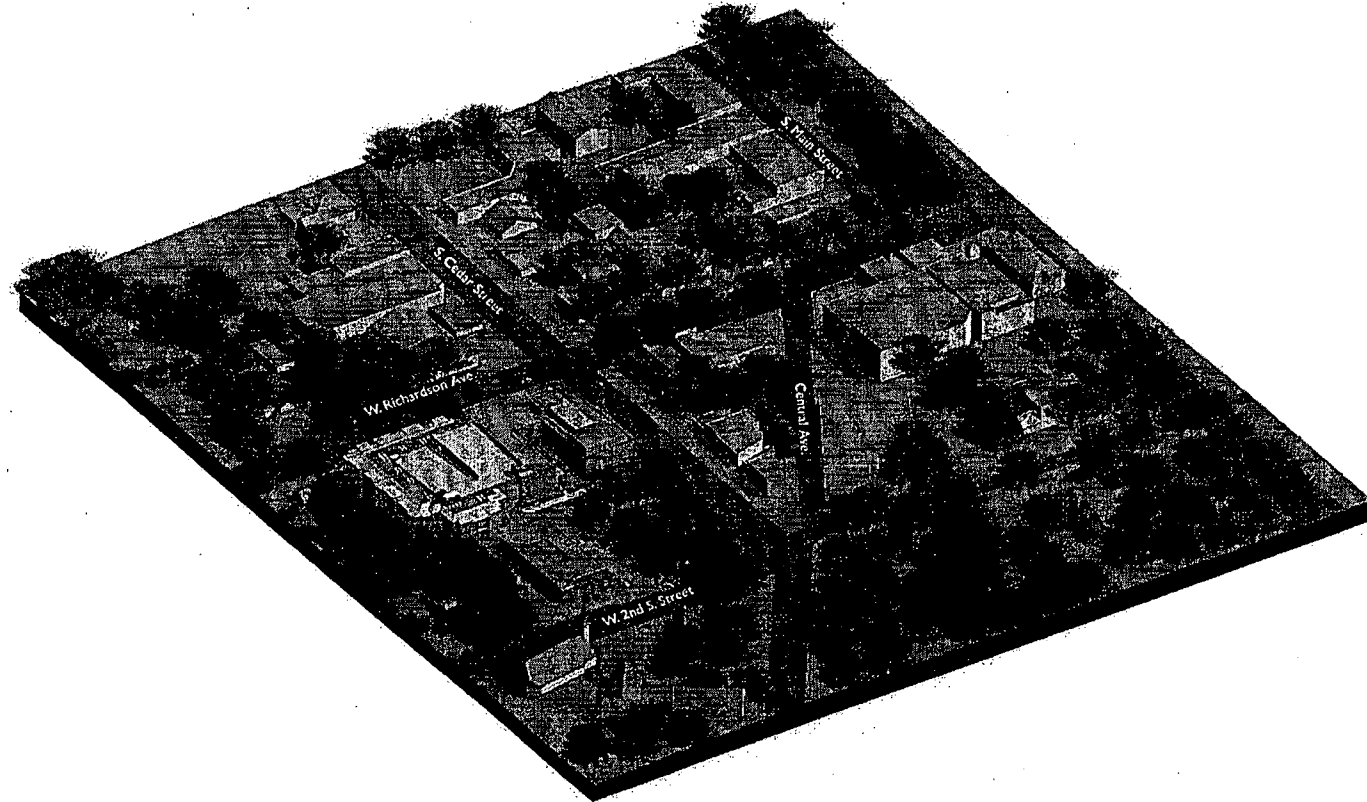


<p>LET PLAN</p> <p>PLANNING PLAN</p>	<p>GENERAL NOTES</p>	<p>LEGEND</p>
<p>1201</p>	<p><b>PRELIMINARY NOT FOR CONSTRUCTION</b></p>	<p><b>THE DORCHESTER</b></p> <p>SUMMERVILLE, S.C.</p> <p><b>Stantec</b></p> <p>1717 CENTER POINT DRIVE, SUITE 200 NORTH CHARLESTON, SC 29418 843.746.7720 www.stantec.com</p>



SOUTHEAST AERIAL PERSPECTIVE





NORTHWEST AERIAL PERSPECTIVE



CONFERENCE  
CENTER  
BEYOND

DAVENPORT  
BUILDING

HOTEL

W. RICHARDSON  
AVE

YMCA

10'-11"

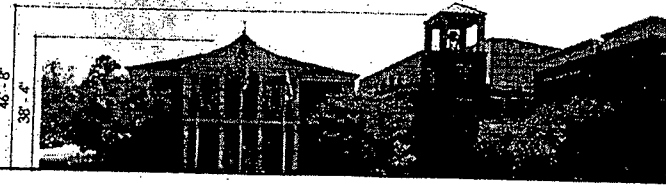
43'-3"

45'-10"

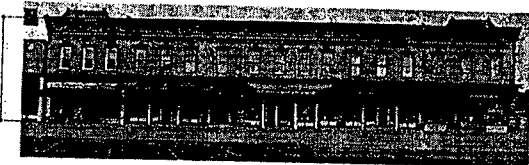
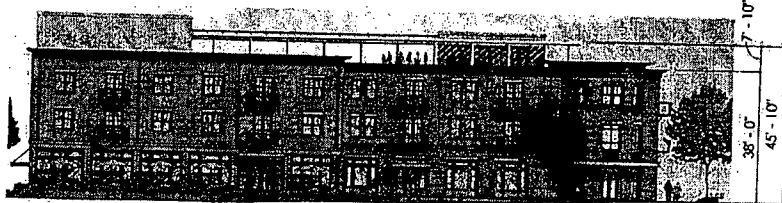
18'-0"

18'-6"

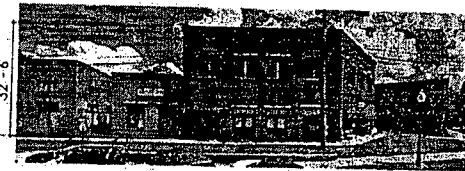
STREETSCAPE SOUTH ELEVATION - HOTEL - S. CEDAR ST.



HISTORIC & NEW CITY HALL



RETAIL BUILDING @ MAIN STREET



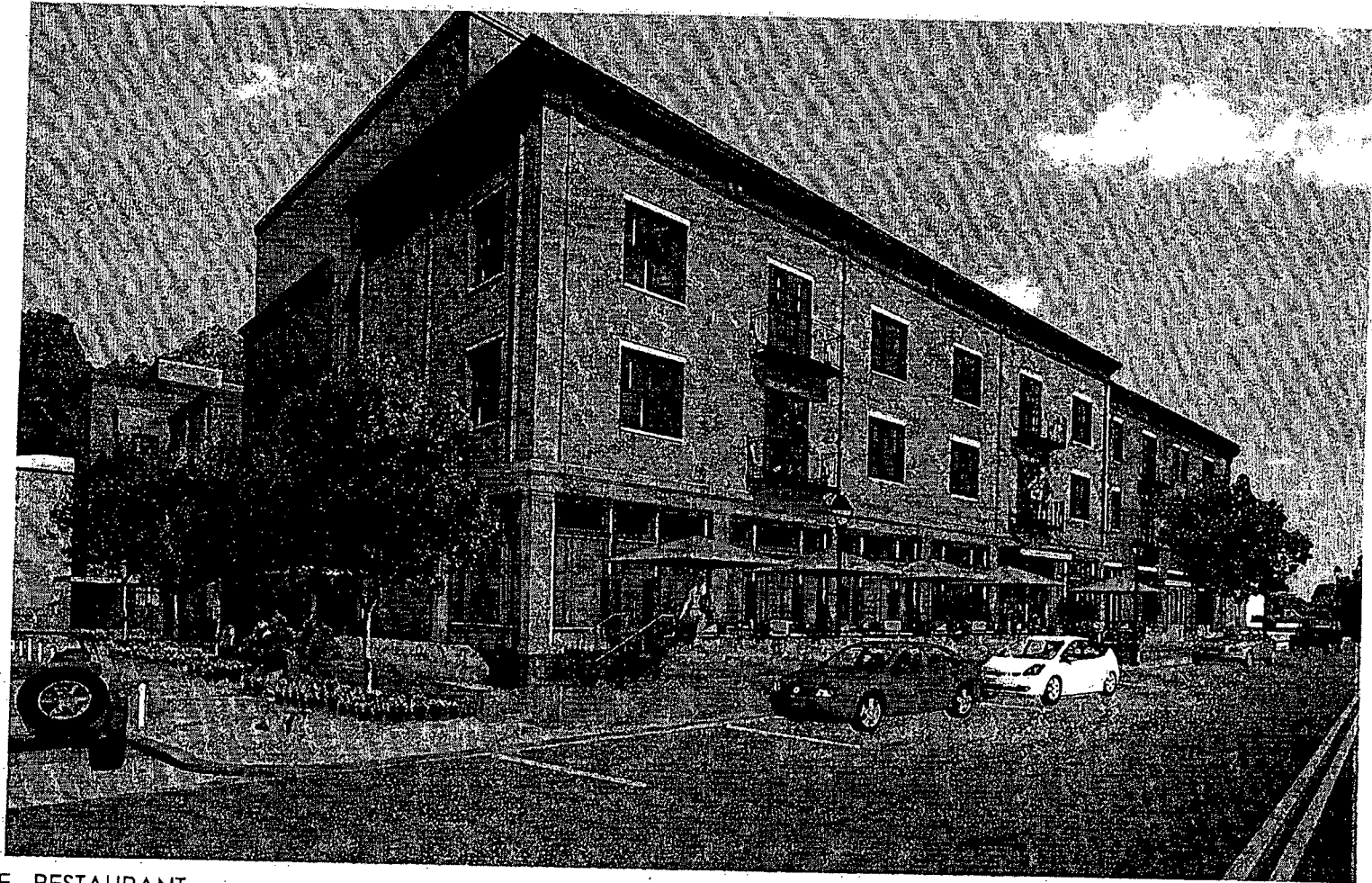
RETAIL BUILDING @ 238 S. CEDAR ST

CONTEXT ELEVATIONS

1108



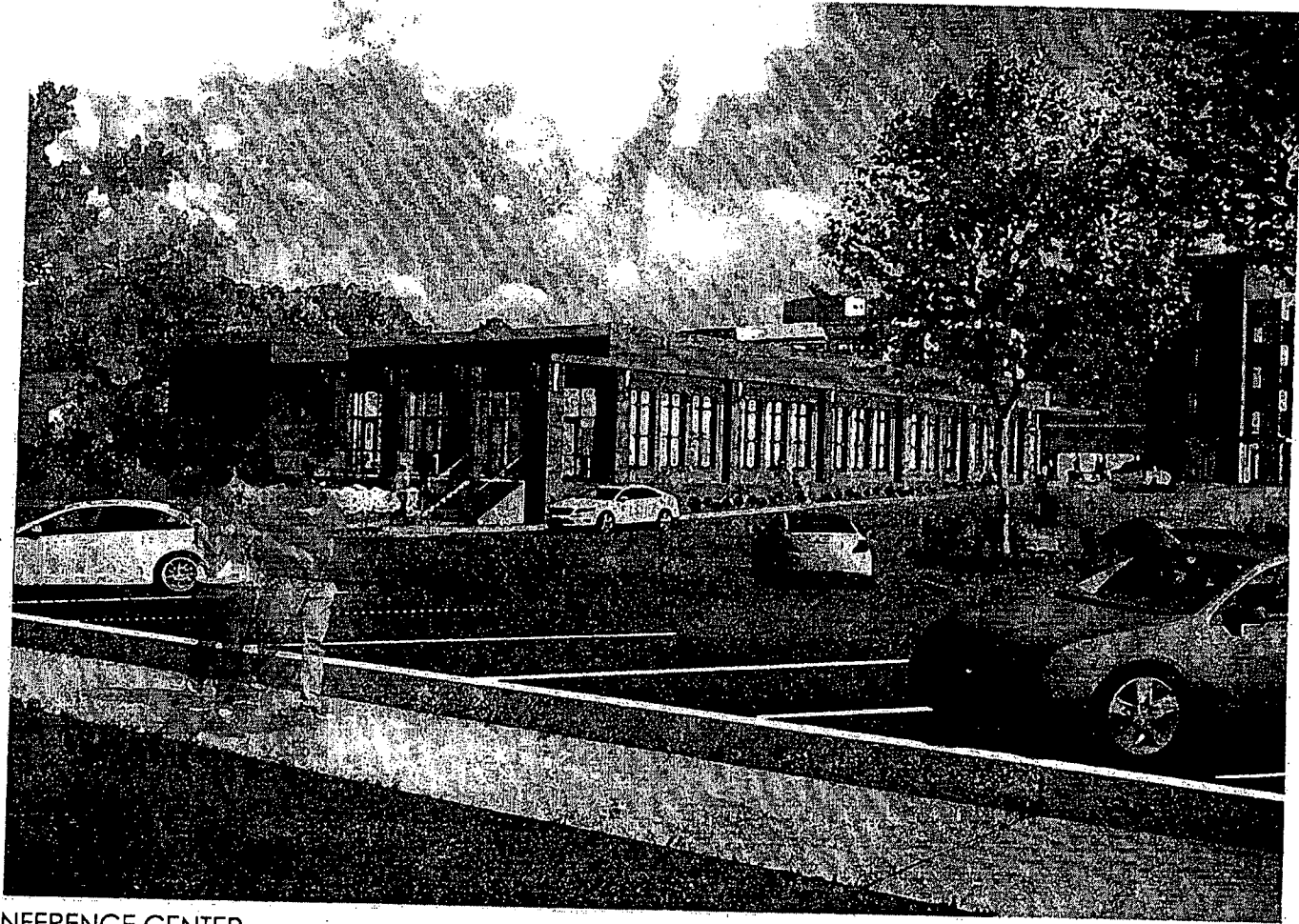
PERSPECTIVE - S. CEDAR ST. & W. RICHARDSON ST. CORNER



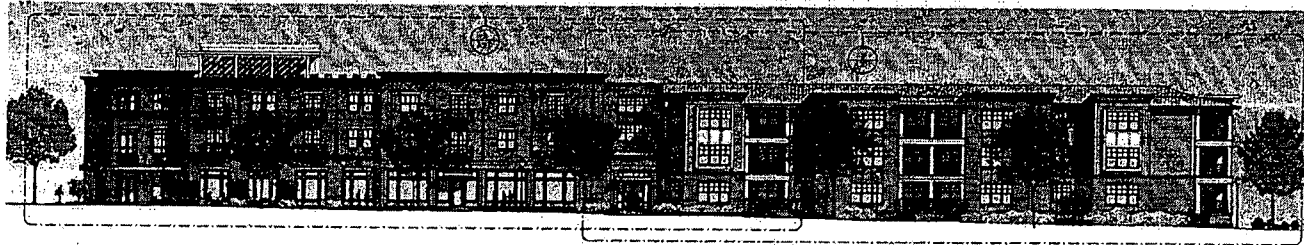
PERSPECTIVE - RESTAURANT



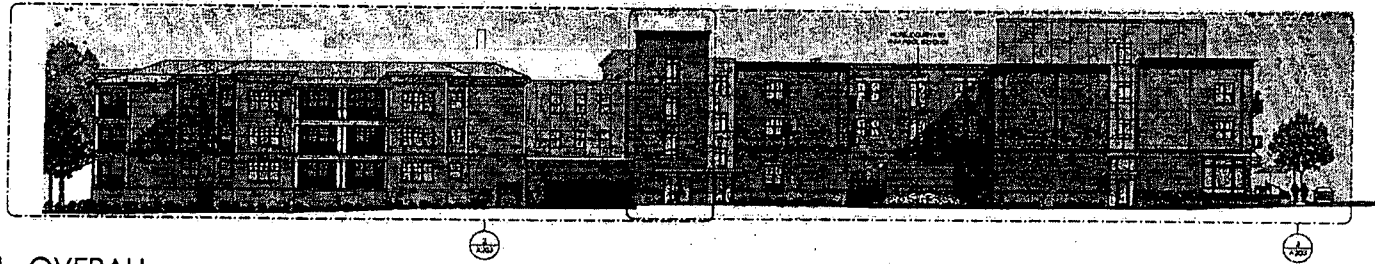
PERSPECTIVE - RESIDENTIAL



PERSPECTIVE - CONFERENCE CENTER



EAST ELEVATION - OVERALL (W. RICHARDSON AVE)  
SCALE: 1/32" = 1'-0"

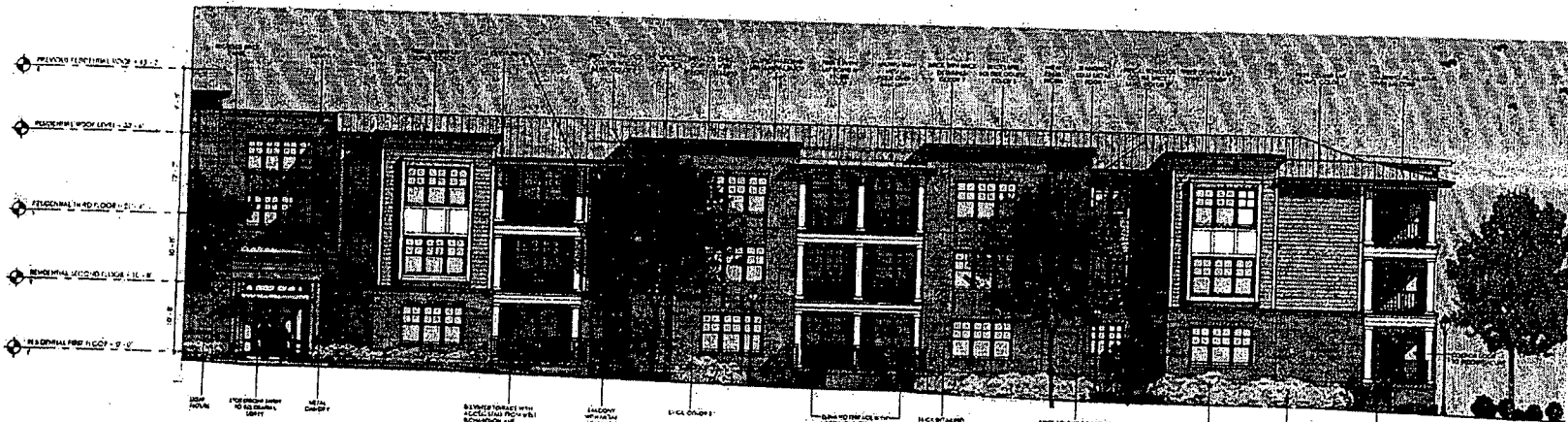


WEST ELEVATION - OVERALL  
SCALE: 1/32" = 1'-0"

1113

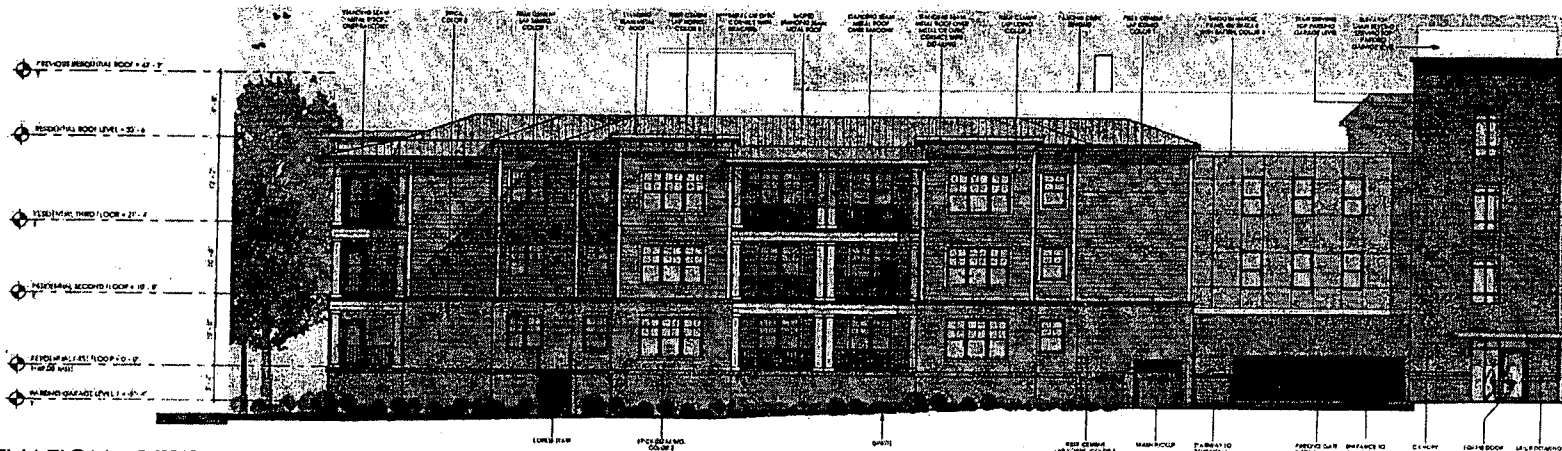


EAST ELEVATION - HOTEL  
SCALE: 1/16" = 1'-0"

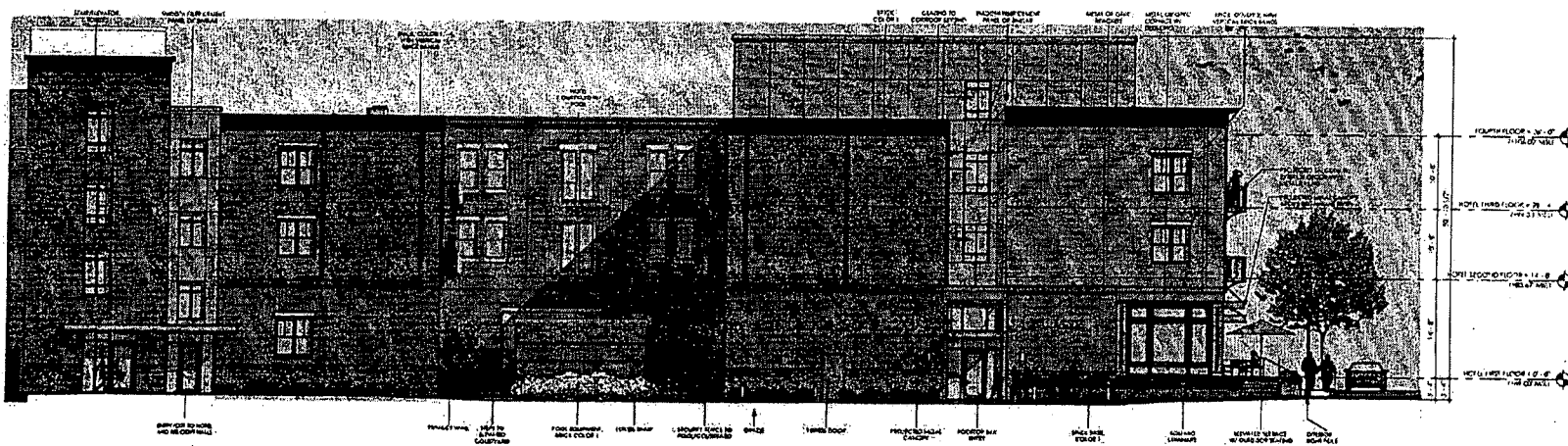


EAST ELEVATION - RESIDENTIAL  
SCALE: 1/16" = 1'-0"

1114

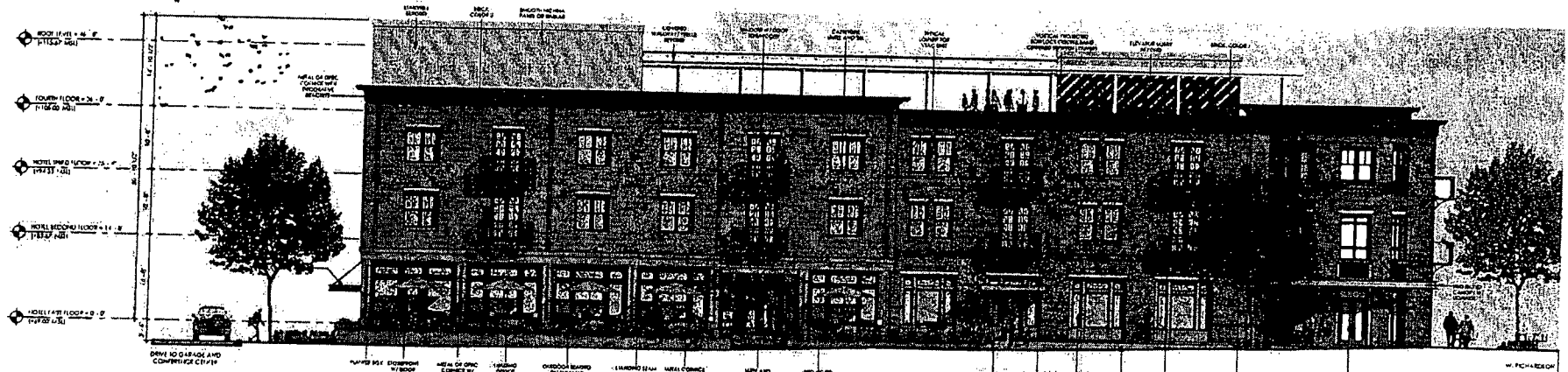


WEST ELEVATION - RESIDENTIAL  
SCALE: 1/16" = 1'-0"



WEST ELEVATION - HOTEL  
SCALE: 1/16" = 1'-0"

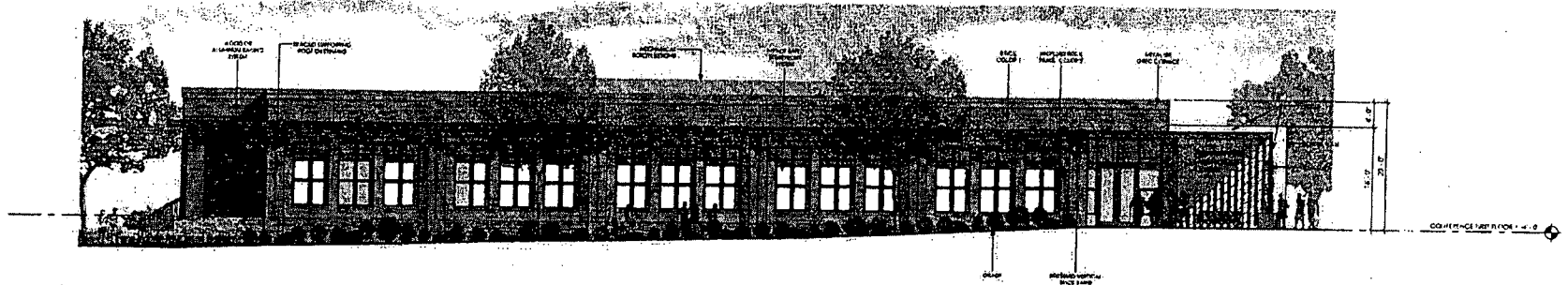
1111



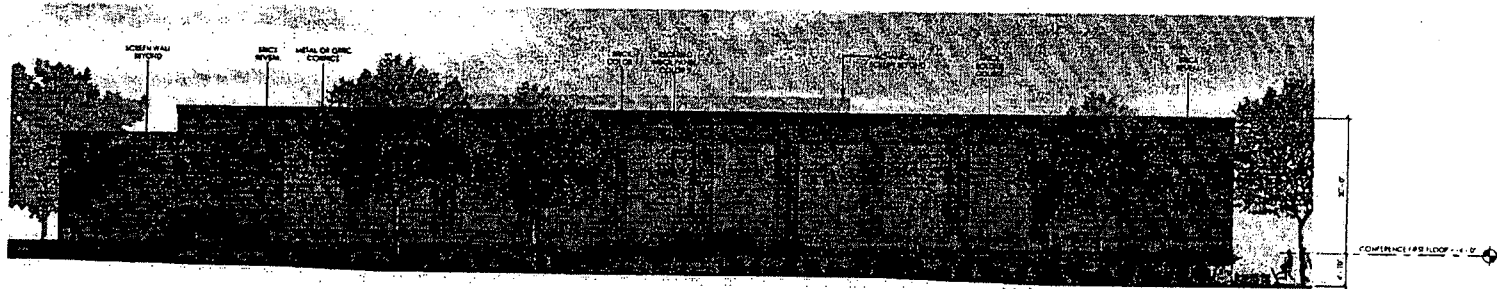
**SOUTH ELEVATION - OVERALL**  
SCALE: 1/16" = 1'-0"



**NORTH ELEVATION - OVERALL**  
SCALE: 1/16" = 1'-0"

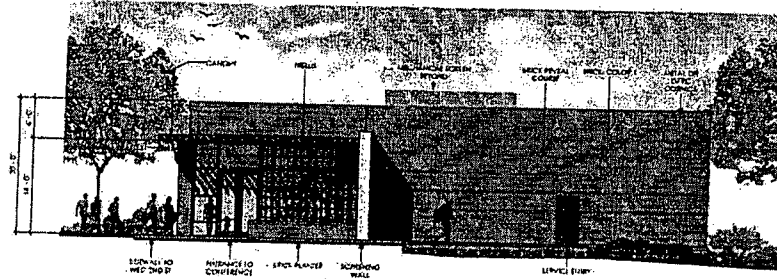


CONFERENCE CENTER - SOUTH ELEVATION  
 SCALE: 1/16" = 1'-0"

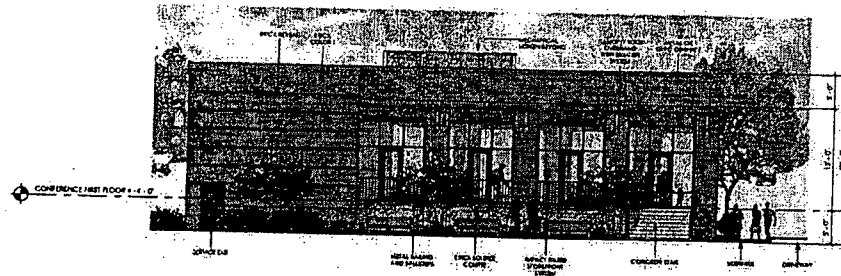


CONFERENCE CENTER - NORTH ELEVATION  
 SCALE: 1/16" = 1'-0"

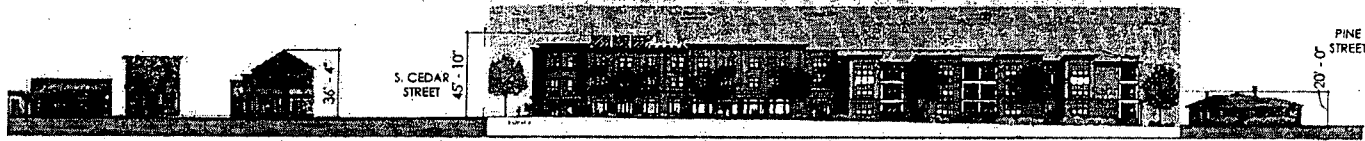
1117



CONFERENCE CENTER - EAST ELEVATION  
 SCALE: 1/16" = 1'-0"



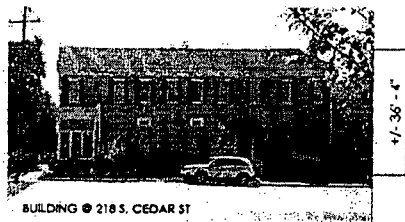
CONFERENCE CENTER - WEST ELEVATION  
 SCALE: 1/16" = 1'-0"



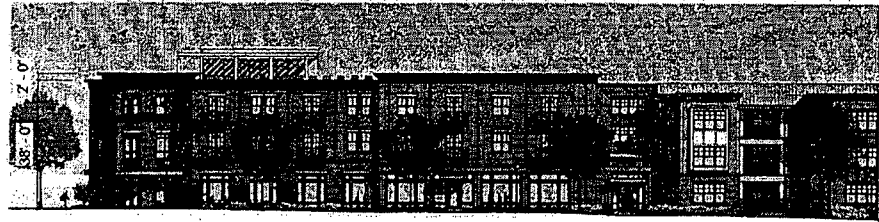
STREETScape EAST ELEVATION - W. RICHARDSON AVE.



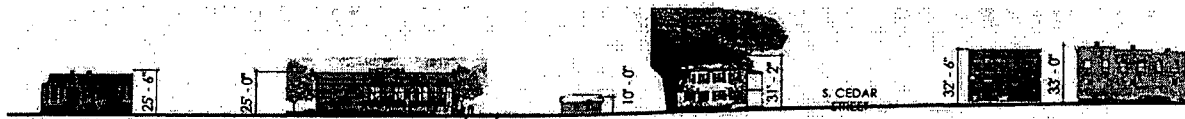
HISTORIC & NEW CITY HALL



BUILDING @ 218 S. CEDAR ST

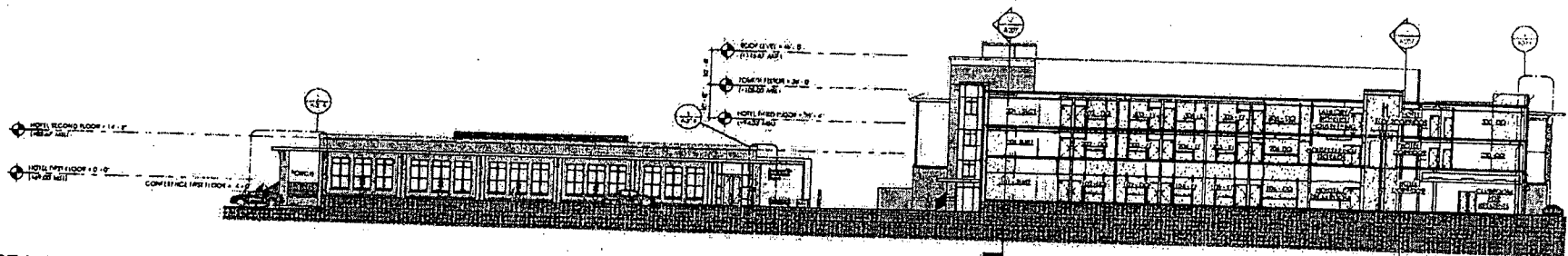


CONTEXT ELEVATIONS

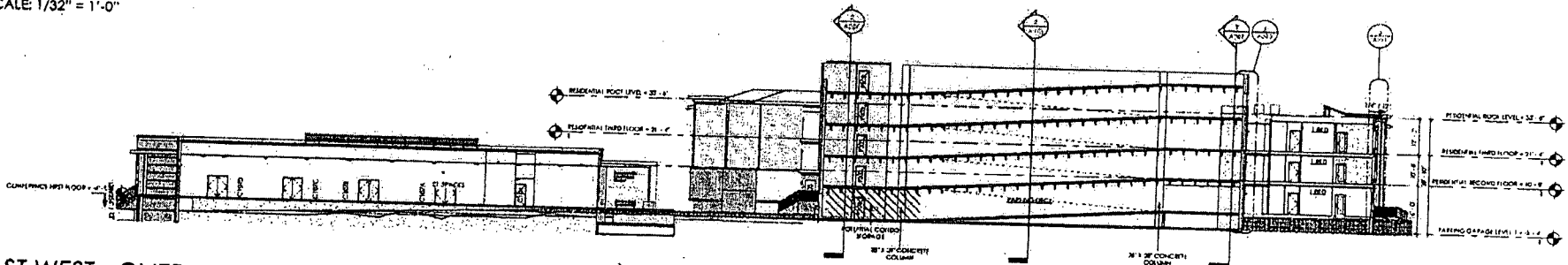


STREETScape WEST ELEVATION - CONFERENCE CENTER - W. 2ND ST.

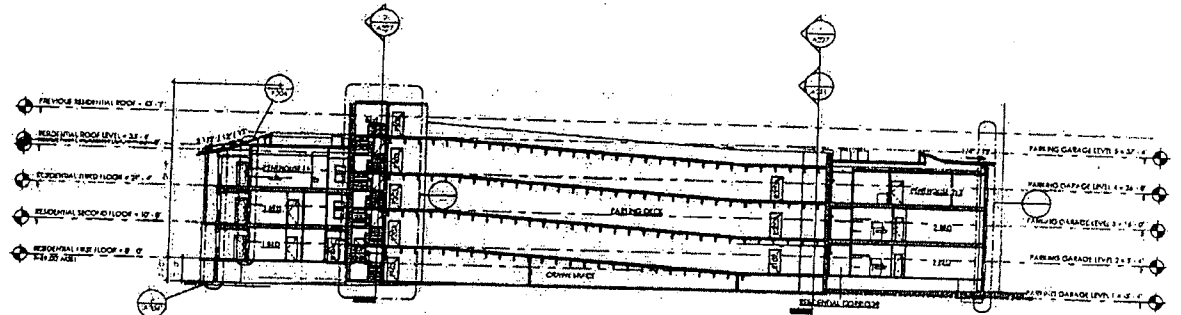
6111



EAST WEST - OVERALL SECTION - 1  
SCALE: 1/32" = 1'-0"

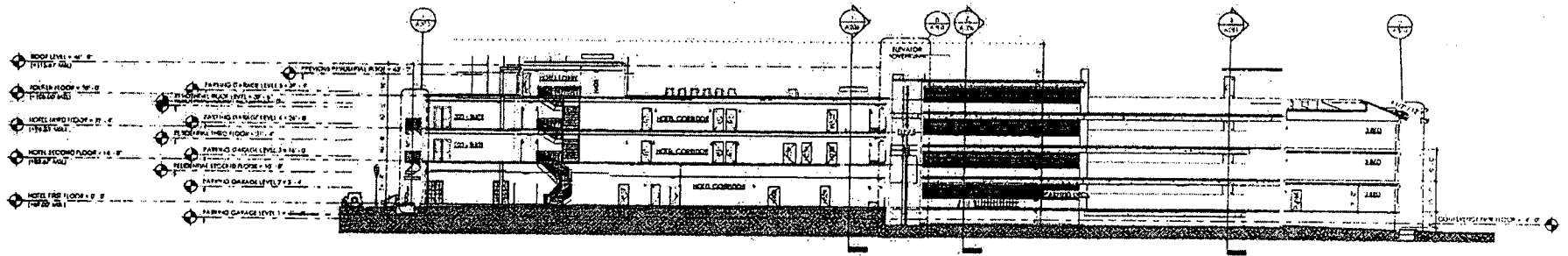


EAST WEST - OVERALL SECTION - 2  
SCALE: 1/32" = 1'-0"



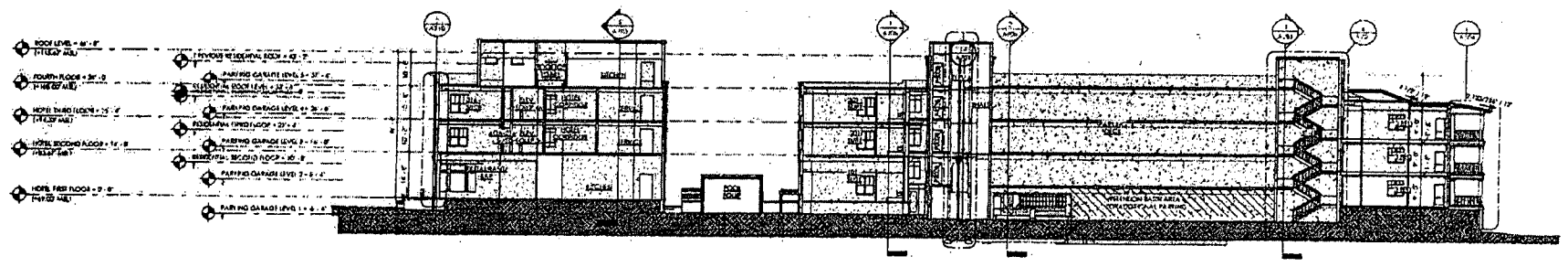
EAST WEST - OVERALL SECTION - 3  
SCALE: 1/32" = 1'-0"

1120



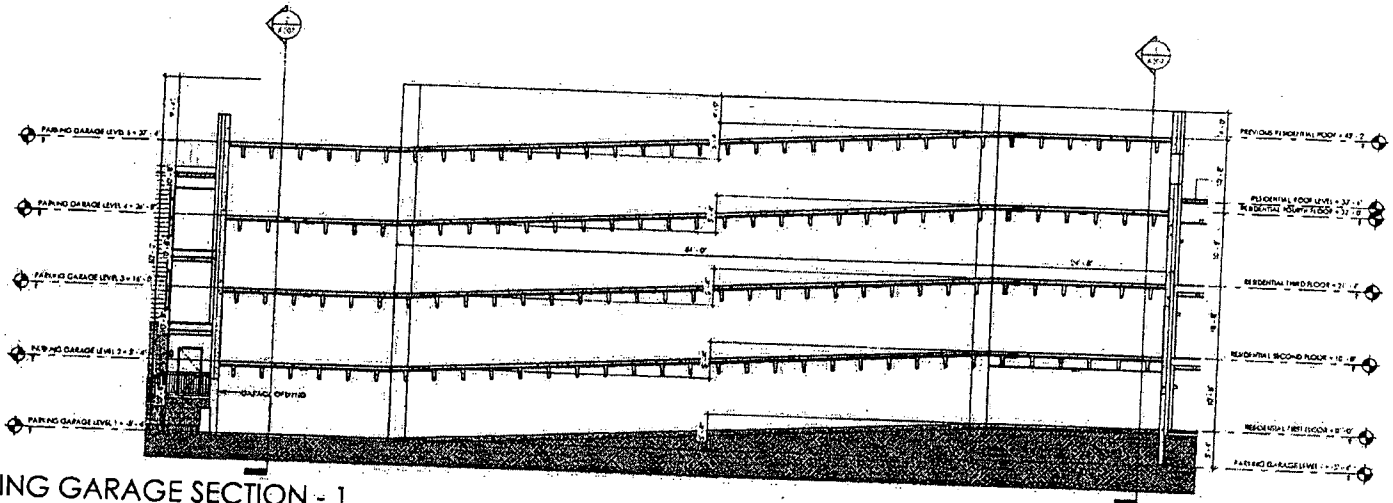
NORTH SOUTH - OVERALL SECTION - 1  
SCALE: 1/32" = 1'-0"

1121

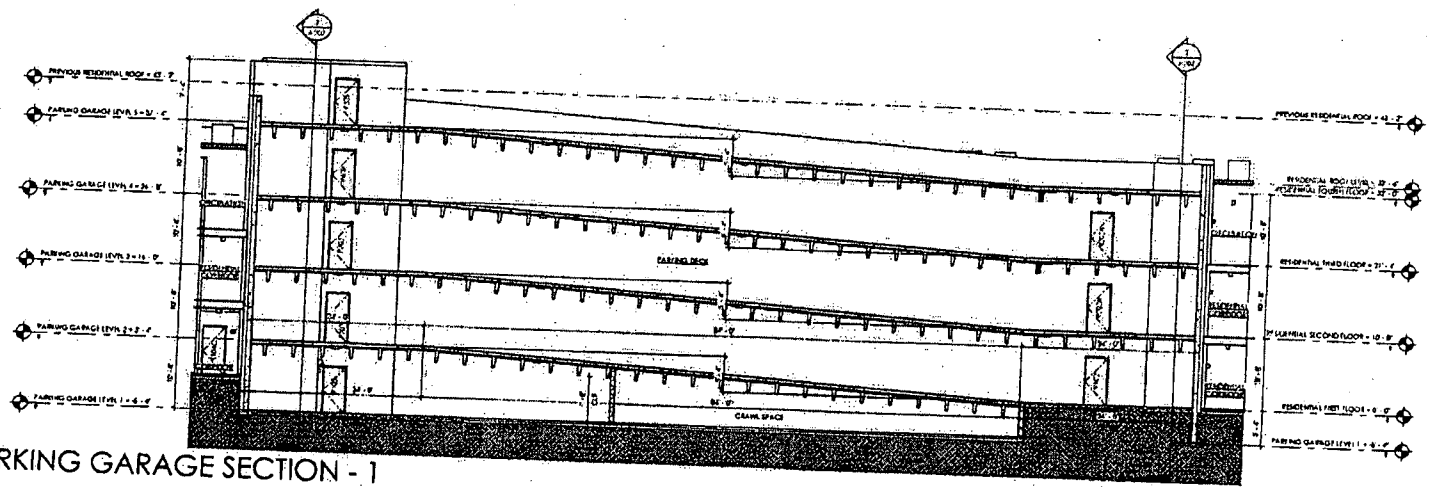


NORTH SOUTH - OVERALL SECTION - 2  
SCALE: 1/32" = 1'-0"





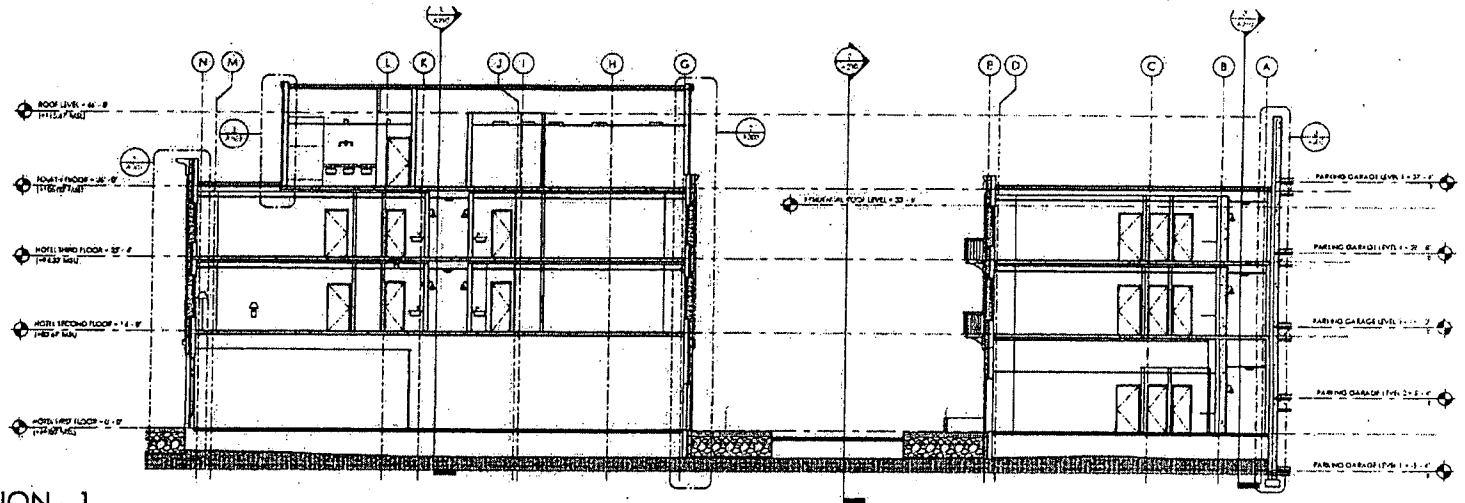
EAST WEST - PARKING GARAGE SECTION - 1  
SCALE: 1/16" = 1'-0"



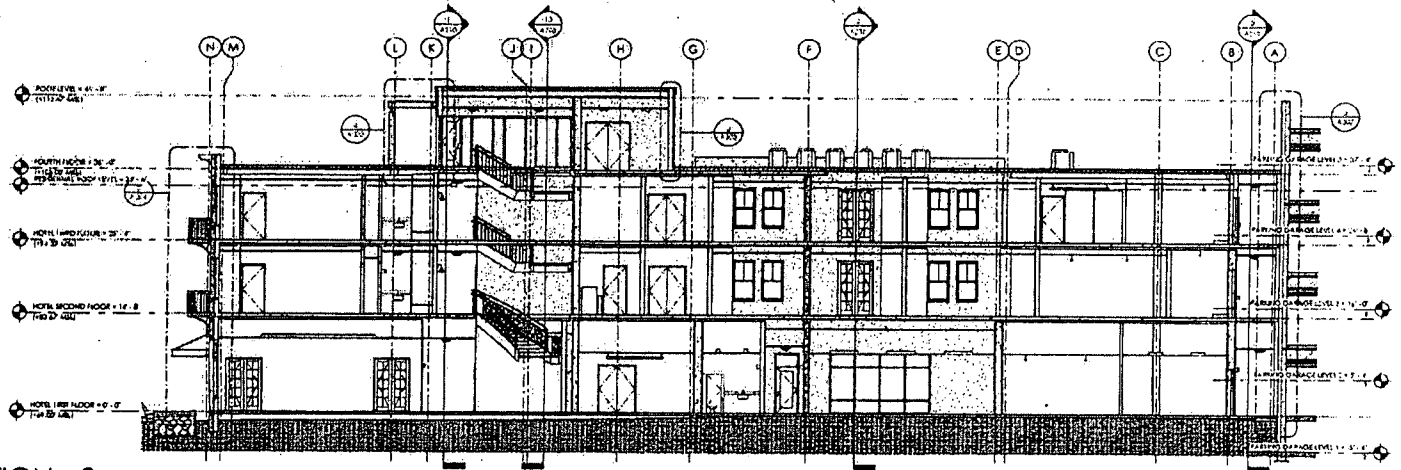
EAST WEST - PARKING GARAGE SECTION - 1  
SCALE: 1/16" = 1'-0"

1122

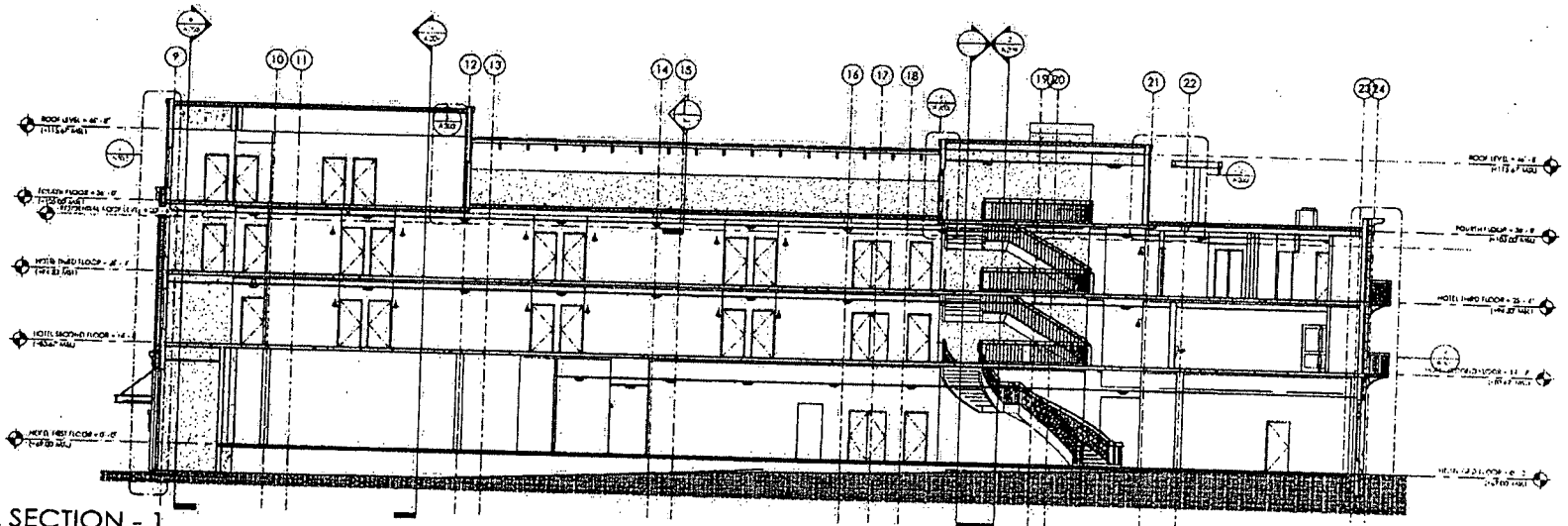




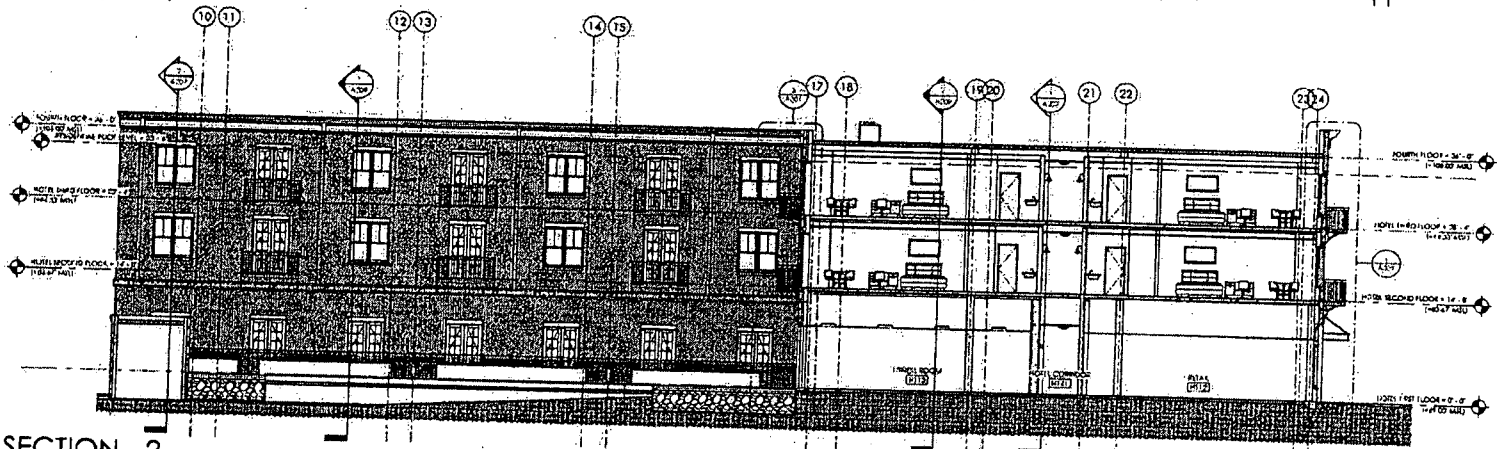
NORTH SOUTH - HOTEL SECTION - 1  
SCALE: 1/16" = 1'-0"



NORTH SOUTH - HOTEL SECTION - 2  
SCALE: 1/16" = 1'-0"



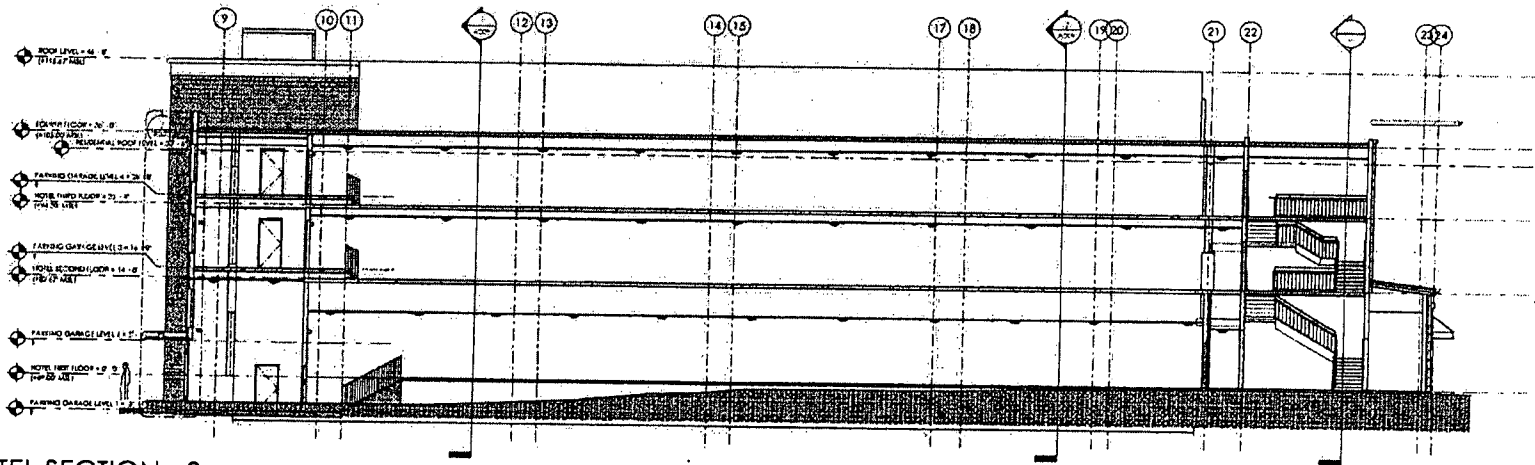
EAST WEST - HOTEL SECTION - 1  
SCALE: 1/16" = 1'-0"



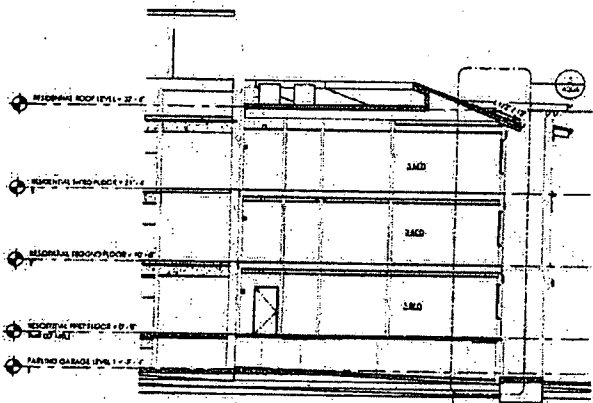
EAST WEST - HOTEL SECTION - 2  
SCALE: 1/16" = 1'-0"

1124

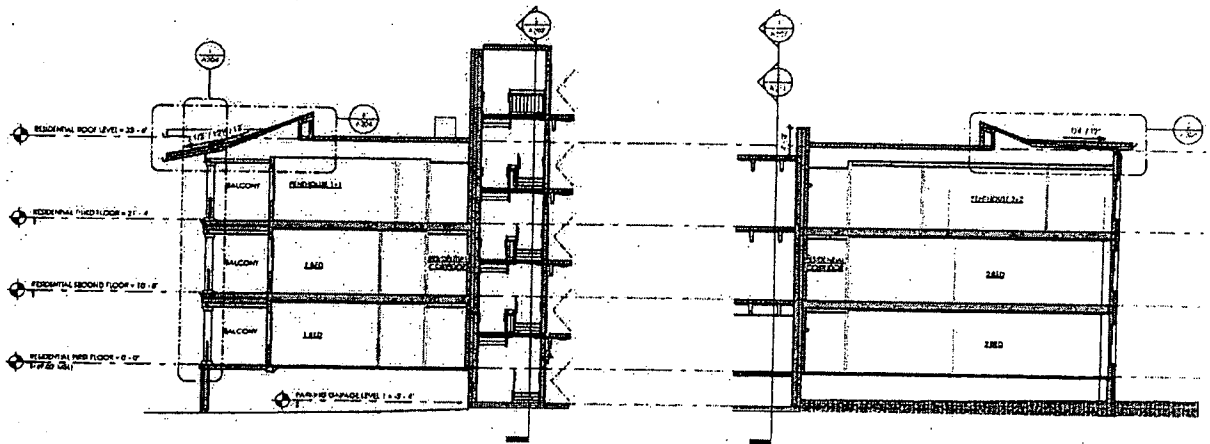




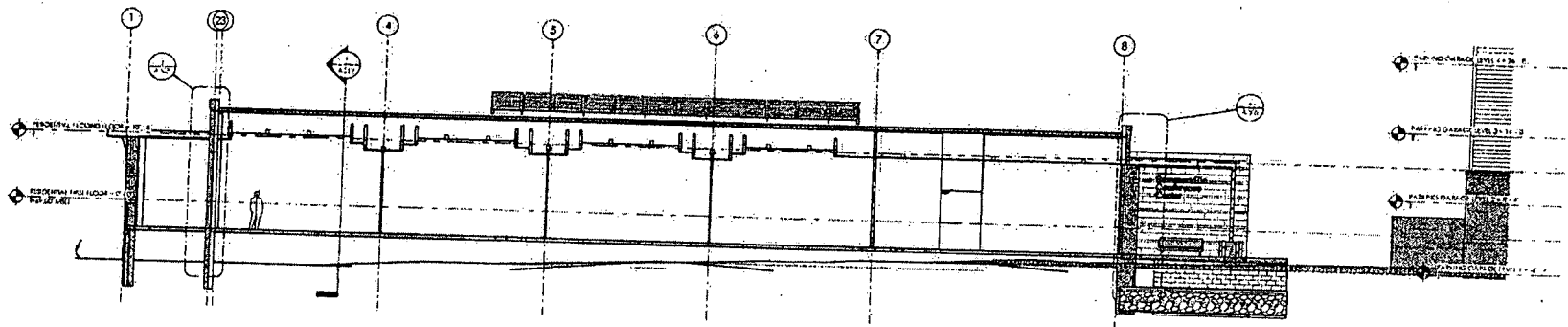
EAST WEST - HOTEL SECTION - 3  
SCALE: 1/16" = 1'-0"



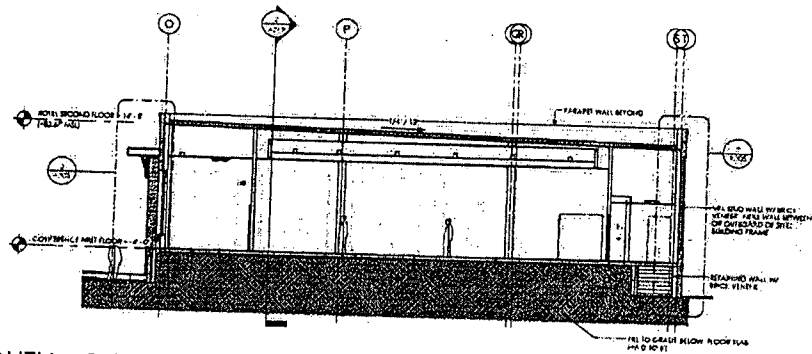
NORTH SOUTH - RESIDENTIAL SECTION  
SCALE: 1/16" = 1'-0"



EAST WEST - RESIDENTIAL SECTION - 1 & 2  
SCALE: 1/16" = 1'-0"

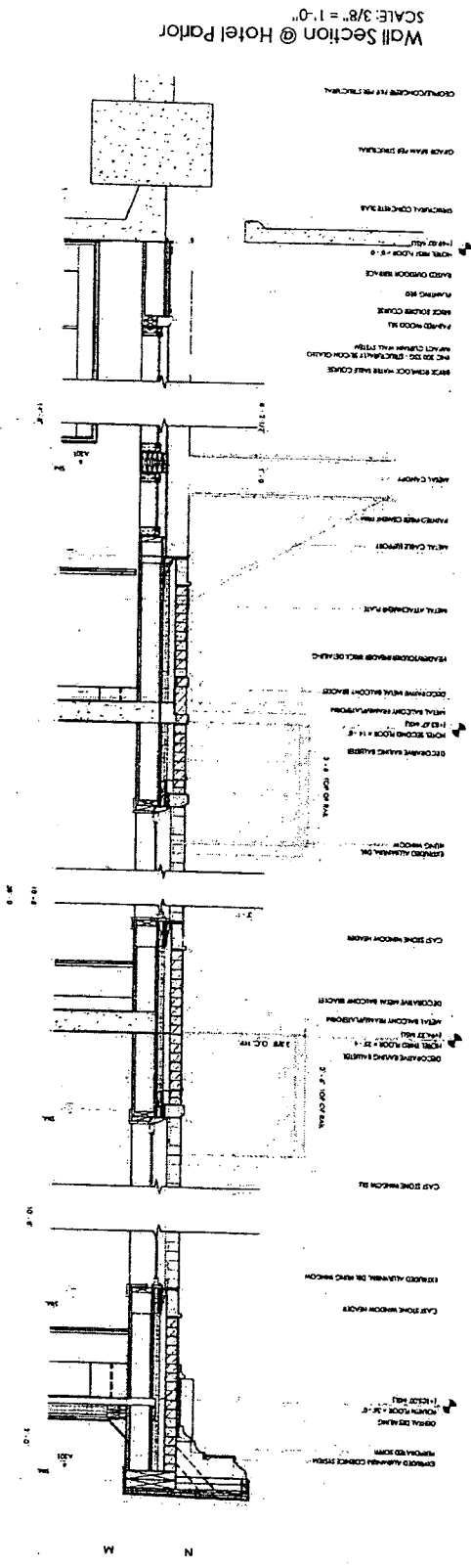


EAST WEST - CONFERENCE CENTER SECTION  
SCALE: 1/16" = 1'-0"

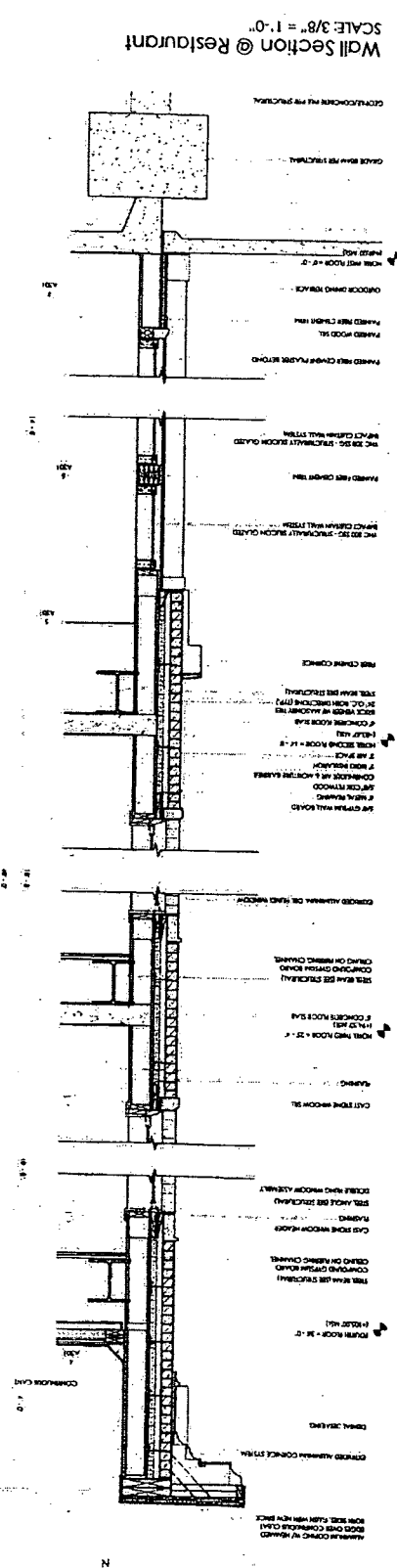


NORTH SOUTH - CONFERENCE CENTER SECTION  
SCALE: 1/16" = 1'-0"

1126



Wall Section @ Hotel Parlor  
SCALE: 3/8" = 1'-0"



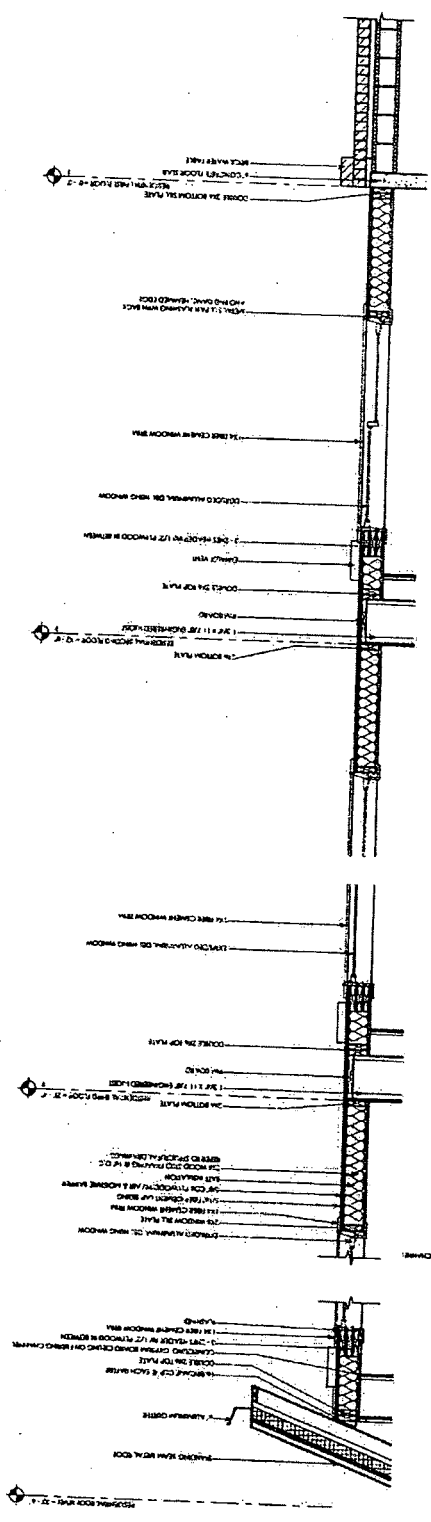
Wall Section @ Restaurant  
SCALE: 3/8" = 1'-0"

HOTEL WALL SECTIONS - S. CEDAR ST.

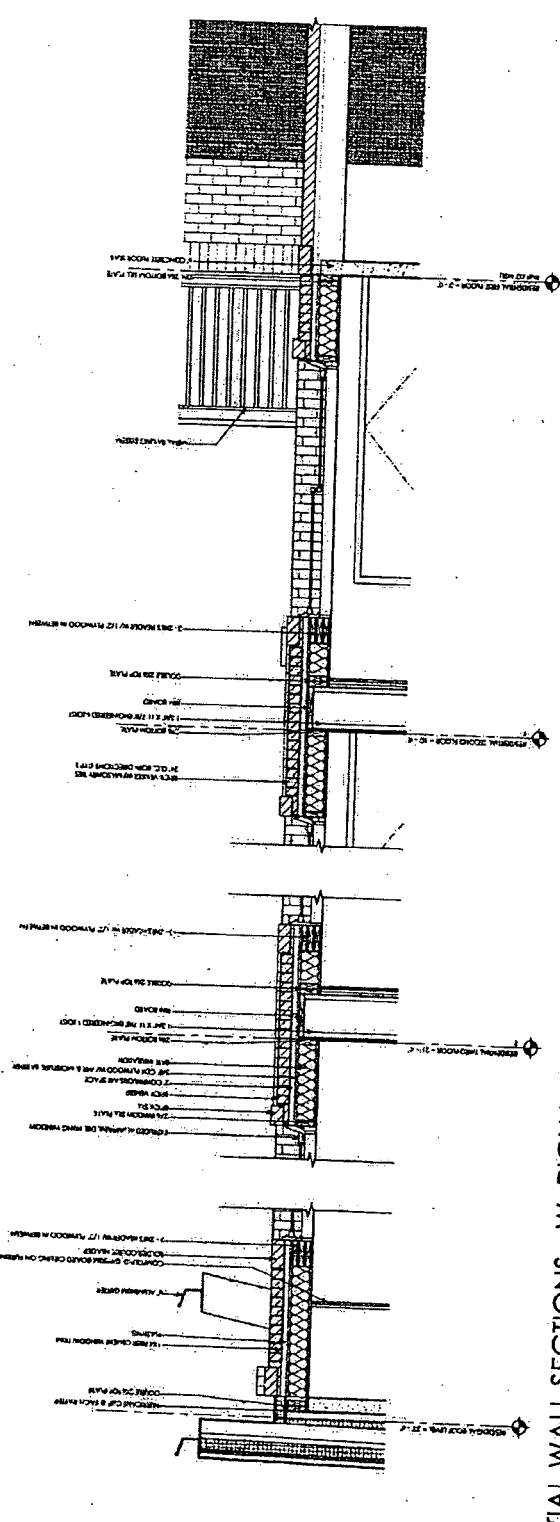


APPELATEGATE & CO.  
Coffey D'Antonio Associates  
January 5, 2014

Wall Section @ Fiber Cement Siding  
 SCALE: 3/8" = 1'-0"



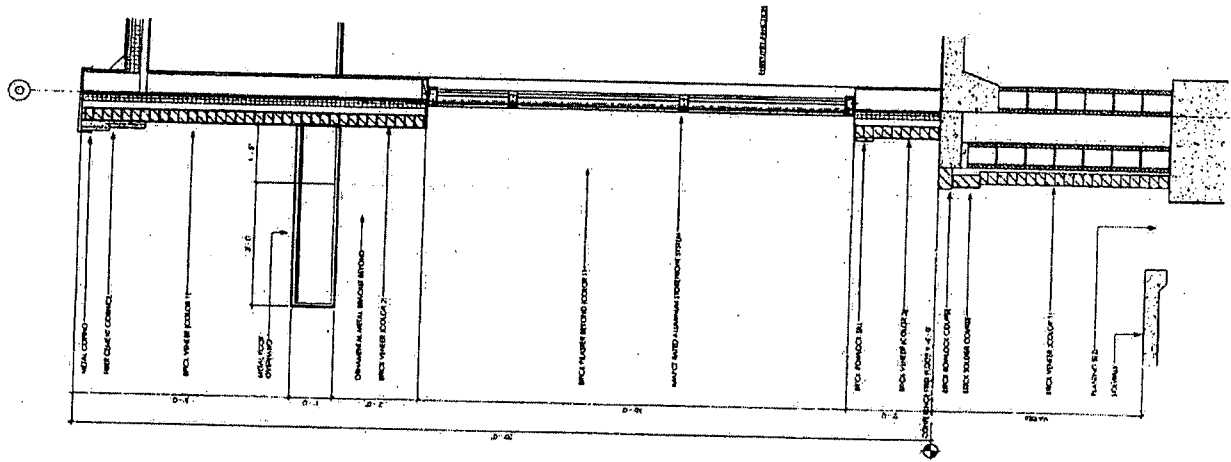
Wall Section @ Brick Elevation  
 SCALE: 3/8" = 1'-0"



RESIDENTIAL WALL SECTIONS - W. RICHARDSON AVE.

APPLIGATE & CO.  
 Go!nD Antonio Associates  
 January 5, 2014



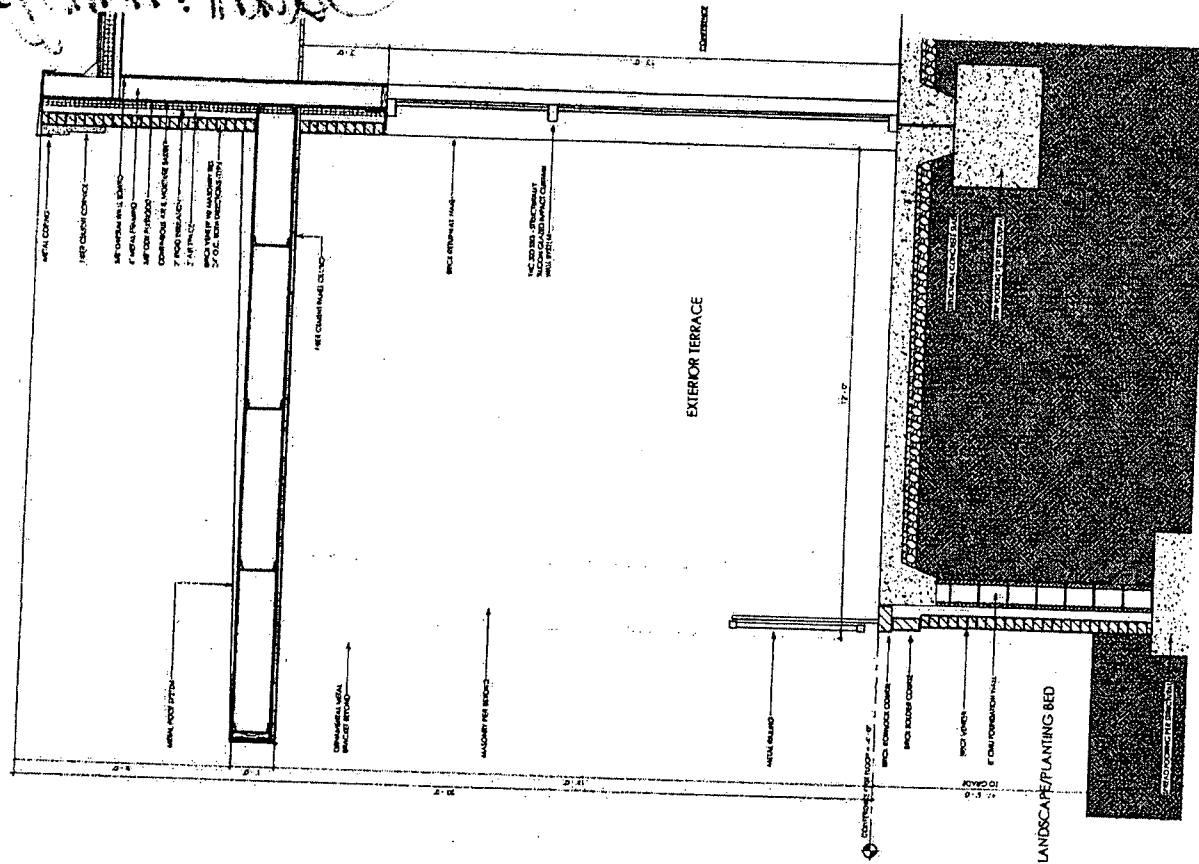


Wall Section @ South Elevation  
SCALE: 3/8" = 1'-0"

CONFERENCE CENTER WALL SECTIONS



*Handwritten notes:*  
22/1/11  
11/11



CONFERENCE CENTER WALL SECTIONS

Wall Section @ W. 2nd St.  
SCALE: 3/8" = 1'-0"



IN THE STATE OF SOUTH CAROLINA  
In The Court of Appeals

APPEAL FROM DORCHESTER COUNTY  
Court of Common Pleas

Edgar W. Dickson, Circuit Court Judge  
Case No. 2015-CP-18-00991

Appellate Case No. 2015-002199

**RECEIVED**  
MAR 20 2017  
SC Court of Appeals

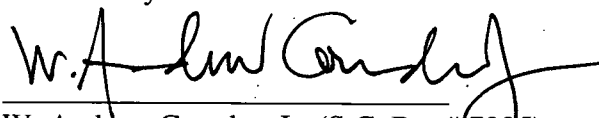
Faye P. Croft, Personally and as Trustee of the James A. Croft Trust; James A. Croft Trust;  
William A. Harbeson; Heyward G. Hutson; James Stephen Greene, Jr.; South Carolina Public  
Interest Foundation; Summerville Preservation Society; and Dorchester County Taxpayers  
Association, individually, and on behalf of all others similarly situated, Appellants,

v.

Town of Summerville and Town of Summerville Board of Architectural Review, Respondents.

CERTIFICATE OF COUNSEL

The undersigned hereby certifies that the Record on Appeal contains all material  
proposed to be included by any of the parties and not any other material.



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February 24, 2017  
Charleston, South Carolina